

TYPICAL HATCH PATTERNS:

- FLOOR HATCH
-> OUTLINES EXTENT OF FLOOR SPACE ABOVE
- DECK HATCH
-> HATCHES DECK AREAS IN FLOOR ABOVE
- PLANTER HATCH
-> SHOWS LOCATION OF PLANTERS ON FLOOR ABOVE
- BLOCKED FLOOR SHEATHING
-> FLOOR SHEATHING BLOCKED AND PANEL EDGES NAILED AS PER SWC
- LOAD BEARING WALL/ EXTERIOR WALL ABOVE
-> FLOOR SHEATHING BLOCKED AND PANEL EDGES NAILED AS PER SWC
- POINT LOAD
-> LOCATION OF POINT LOAD ABOVE

• (3'-6" x 3'-6" x 12") Concrete Pad Footing (9/ S10)	4.0 EA
▬ (24" Wide X 8" H) Continuous Concrete Footing (1/ S10)	383.5 FT
▬ (8" Wide X 11'-6" H) Concrete Foundation Wall (1/ S10)	200.8 FT
• (12" X 12" X 18" H) Concrete Pedestal (9/ S10)	4.0 EA
▬ (8" Wide X 6" H) Foundation Wall (5/ S10)	217.8 FT
• (2'-6" x 2'-6" x 10") Concrete Pad Footing (7/ S10)	6.0 EA
▬ (24" Wide X 10" H) Continuous Concrete Footing (17/ S10)	29.0 FT
▬ (14" Wide X 14" H) Foundation Wall (5/ S10)	34.8 FT
• (3'-0" x 3'-0" x 10") Concrete Pad Footing	4.0 EA
■ (4" Thk) Slab On Grade	2185.9 SQ FT

**HELLIWELL + SMITH
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7	NOV. 26/21	REVISED B.P.
6	APR. 29/21	BUILDING PERMIT
5	APR. 15/21	IN PROGRESS
4	MAR. 10/21	REVISED
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2	JUN. 19/19	REVIEW
1	JUN. 17/19	REVIEW

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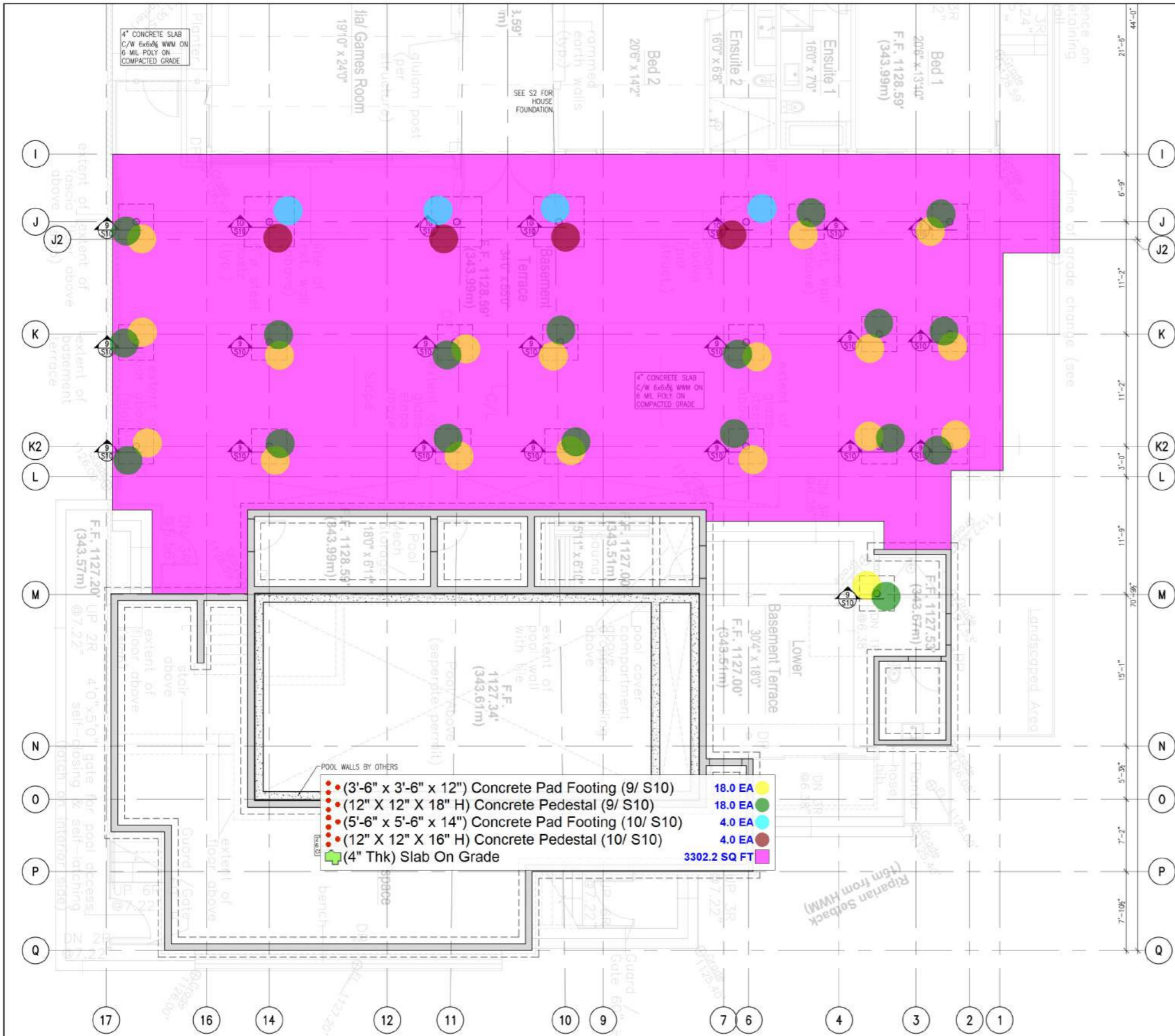
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mail@chiuhippmann.ca

project:
LAPRAIRIE LAKE HOUSE
1887 JENNENS ROAD
WEST KELOWNA, BC

drawing title:
FOUNDATION PLAN

SCALE: 3/16" = 1'-0"	PROJECT NO. 18076
DESIGN: C.C.	S2 OF 13
DRAWN: A.C.	
CHECKED BY: CHF	
DATE: MAY 24/18	

FOUNDATION PLAN
SCALE 3/16" = 1'-0"



LOWER TERRACE PLAN - FOUNDATION
SCALE 3/16" = 1'-0"

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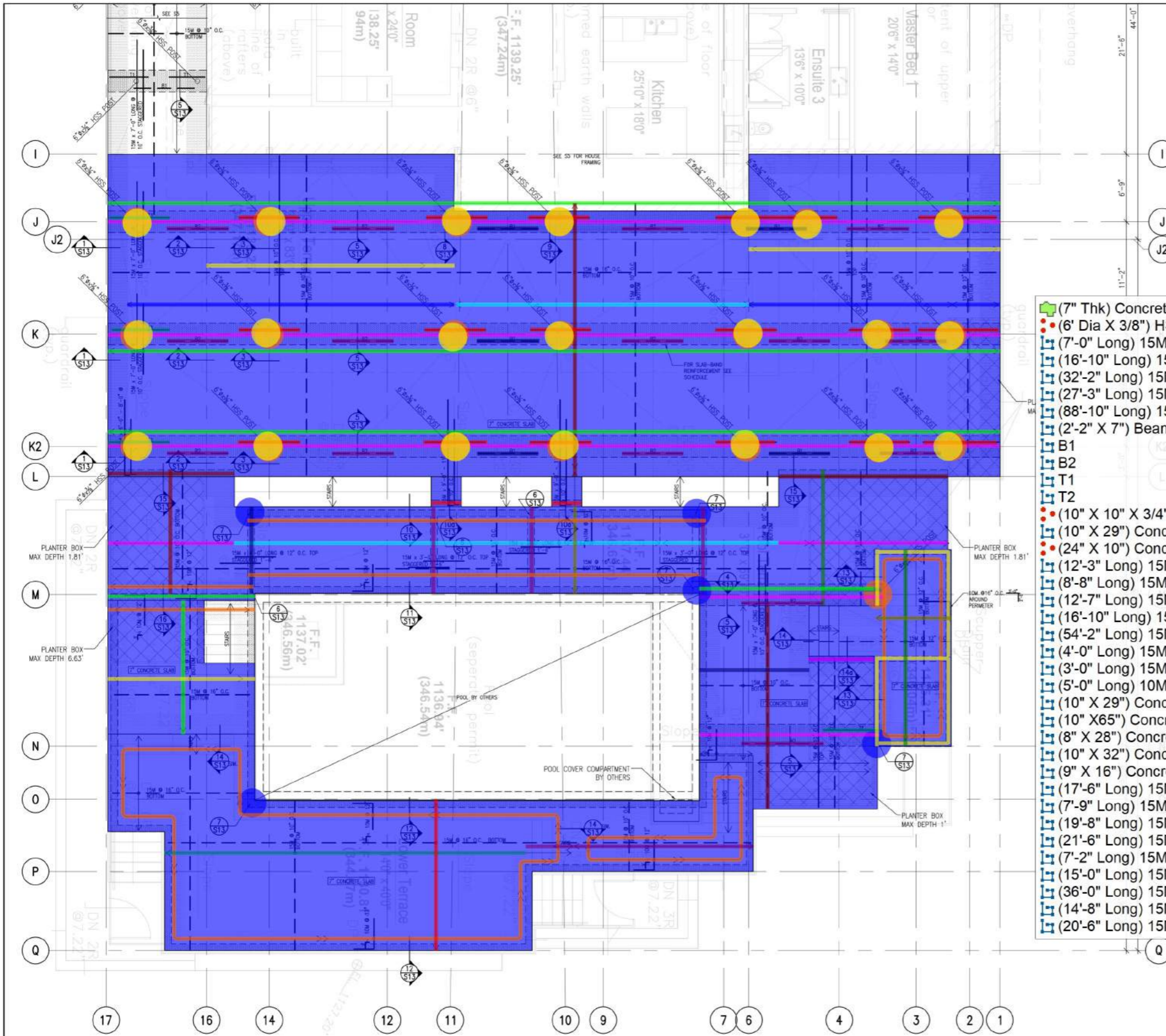
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LOWER TERRACE PLAN
FOUNDATION

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SLAB AND BEAM REINFORCING NOTE:

1. EXTEND ALL BOTTOM BARS 6" MIN. INTO WALLS.
2. TEMPERATURE STEEL REINFORCEMENT TO BE PLACED ON TOP AND PERPENDICULAR TO MAIN STEEL. SEE STRUCTURAL NOTES ON DRAWING S1.
3. ALL SLABS 7" THICK UNLESS NOTED OTHERWISE.
4. ALL SLAB-BANDS 16" DEEP x 2'-2" WIDE CENTERED ON COLUMN LINES UNLESS NOTED OTHERWISE.
5. TYPICAL SLAB-BAND TOP BARS STAGGERED 1'-0" CENTERED OVER MIDSPAN UNLESS NOTED OTHERWISE. TYPICAL SLAB-BAND BOTTOM BARS STAGGERED 1'-0" CENTERED OVER COLUMNS/WALLS UNLESS NOTED OTHERWISE.
6. TYPICAL SLAB TOP BARS STAGGERED 1'-6" OVER BEAMS/WALLS UNLESS NOTED OTHERWISE.
7. ——— DENOTES BOTTOM STEEL.
——— DENOTES TOP STEEL.

SLAB-BAND REINFORCING SCHEDULE

BAR SHOWN ARE IN ADDITION TO 4-25M CONTINUOUS TOP BARS AND 4-25M CONTINUOUS BOTTOM BARS

BOTTOM BARS		TOP BARS	
MARK	No. AND SIZE OF BAR	MARK	No. AND SIZE OF BAR
B1	4-20M	T1	4-20M
B2	3-25M	T2	3-25M

- (7" Thk) Concrete Slab 4993.4 SQ FT
- (6" Dia X 3/8") HSS Post @ 9' H W/ (10" X 10" X 1/2")... 22.0 EA
- (7'-0" Long) 15M Bar @ 10" O.C Bottom 283.9 FT
- (16'-10" Long) 15M Bar @ 10" O.C 49.7 FT
- (32'-2" Long) 15M Bar @ 10" O.C Bottom 57.5 FT
- (27'-3" Long) 15M Bar @ 10" O.C 29.2 FT
- (88'-10" Long) 15M Bar @ 16" O.C Bottom 27.2 FT
- (2'-2" X 7") Beam (5/S13) 302.9 FT
- B1 30.6 FT
- B2 96.1 FT
- T1 29.5 FT
- T2 114.2 FT
- (10" X 10" X 3/4") Plate W/ 4-15M Rebar 21.0 EA
- (10" X 29") Concrete Beam B1 (5/S13) 29.5 FT
- (24" X 10") Concrete Column @ 9'-6" H (7/S13) 5.0 EA
- (12'-3" Long) 15M Bar @ 10" O.C Bottom 29.4 FT
- (8'-8" Long) 15M Bar @ 10" O.C Bottom 54.2 FT
- (12'-7" Long) 15M Bar @ 16" O.C Bottom 12.4 FT
- (16'-10" Long) 15M Bar @ 16" O.C Bottom 13.6 FT
- (54'-2" Long) 15M Bar @ 16" O.C Bottom 8.7 FT
- (4'-0" Long) 15M Bar @ 12" O.C 8.7 FT
- (3'-0" Long) 15M Bar @ 12" O.C 26.1 FT
- (5'-0" Long) 10M Bar @ 12" O.C 334.9 FT
- (10" X 29") Concrete Beam B1 (10a/S13) 6.1 FT
- (10" X65") Concrete Drop Beam B1 (16/S13) 14.7 FT
- (8" X 28") Concrete Beam (13/S13) 54.2 FT
- (10" X 32") Concrete Beam (14/S13) 6.5 FT
- (9" X 16") Concrete slab (14a/S13) 6.5 FT
- (17'-6" Long) 15M Bar @ 12" O.C 20.2 FT
- (7'-9" Long) 15M Bar @ 12" O.C 19.6 FT
- (19'-8" Long) 15M Bar @ 12" O.C 7.5 FT
- (21'-6" Long) 15M Bar @ 10" O.C 11.0 FT
- (7'-2" Long) 15M Bar @ 10" O.C 22.7 FT
- (15'-0" Long) 15M Bar @ 10" O.C 36.0 FT
- (36'-0" Long) 15M Bar @ 10" O.C 15.1 FT
- (14'-8" Long) 15M Bar @ 16" O.C 13.3 FT
- (20'-6" Long) 15M Bar @ 10" O.C 14.6 FT

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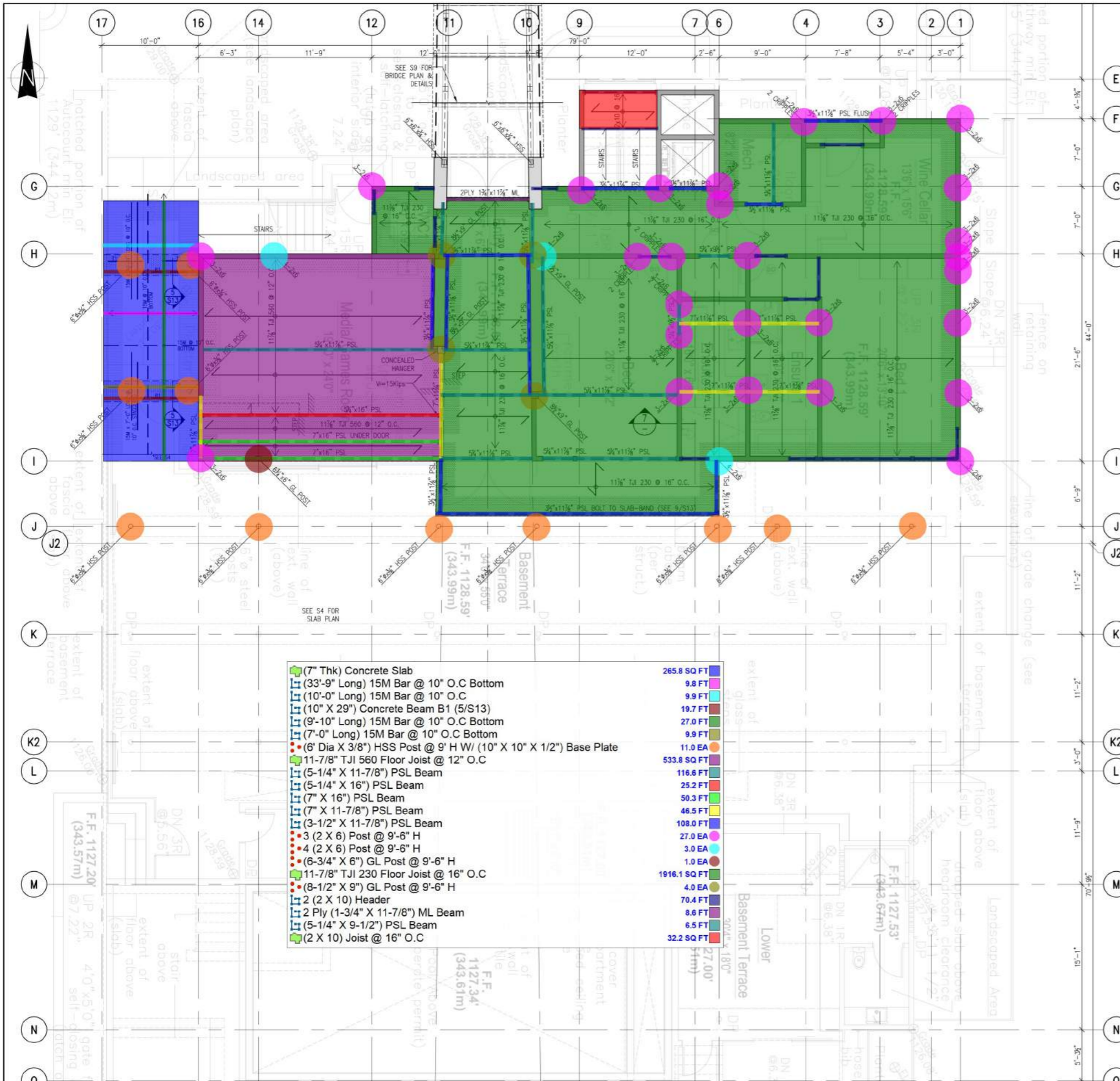
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project:
LAPRAIRIE LAKE HOUSE
1887 JENNENS ROAD
WEST KELOWNA, BC

drawing title:
MAIN TERRACE PLAN
CONCRETE SLAB

SCALE:	PROJECT NO.
3/16" = 1'-0"	18076
DESIGN: C.C.	S4 OF 13
DRAWN: A.C.	
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MAIN TERRACE PLAN - CONCRETE SLAB
SCALE 3/16" = 1'-0"



- (7" Thk) Concrete Slab
- (33'-9" Long) 15M Bar @ 10" O.C Bottom
- (10'-0" Long) 15M Bar @ 10" O.C
- (10" X 29") Concrete Beam B1 (5/S13)
- (9'-10" Long) 15M Bar @ 10" O.C Bottom
- (7'-0" Long) 15M Bar @ 10" O.C Bottom
- (6" Dia X 3/8") HSS Post @ 9' H W/ (10" X 10" X 1/2") Base Plate
- 11-7/8" TJI 560 Floor Joist @ 12" O.C
- (5-1/4" X 11-7/8") PSL Beam
- (5-1/4" X 16") PSL Beam
- (7" X 16") PSL Beam
- (7" X 11-7/8") PSL Beam
- (3-1/2" X 11-7/8") PSL Beam
- 3 (2 X 6) Post @ 9'-6" H
- 4 (2 X 6) Post @ 9'-6" H
- (6-3/4" X 6") GL Post @ 9'-6" H
- 11-7/8" TJI 230 Floor Joist @ 16" O.C
- (8-1/2" X 9") GL Post @ 9'-6" H
- 2 (2 X 10) Header
- 2 Ply (1-3/4" X 11-7/8") ML Beam
- (5-1/4" X 9-1/2") PSL Beam
- (2 X 10) Joist @ 16" O.C

- 265.8 SQ FT
- 9.8 FT
- 9.9 FT
- 19.7 FT
- 27.0 FT
- 9.9 FT
- 11.0 EA
- 533.8 SQ FT
- 116.6 FT
- 25.2 FT
- 50.3 FT
- 46.5 FT
- 108.0 FT
- 27.0 EA
- 3.0 EA
- 1.0 EA
- 1916.1 SQ FT
- 4.0 EA
- 70.4 FT
- 8.6 FT
- 6.5 FT
- 32.2 SQ FT

TYPICAL HATCH PATTERNS:

FLOOR HATCH
-> OUTLINES EXTENT OF FLOOR SPACE ABOVE

DECK HATCH
-> HATCHES DECK AREAS IN FLOOR ABOVE

PLANTER HATCH
-> SHOWS LOCATION OF PLANTERS ON FLOOR ABOVE

BLOCKED FLOOR SHEATHING
-> FLOOR SHEATHING BLOCKED AND PANEL EDGES NAILED AS PER SWC

LOAD BEARING WALL/ EXTERIOR WALL ABOVE
-> FLOOR SHEATHING BLOCKED AND PANEL EDGES NAILED AS PER SWC

POINT LOAD
-> LOCATION OF POINT LOAD ABOVE

SHEAR WALL SCHEDULE 1 S12 SEE DETAIL

SHEAR WALL TYPE AS NOTED IN PLAN

NAIL INTERMEDIATE SUPPORTS @ 12", BLOCK ALL PANEL EDGES
FOR NAIL GUNS DECREASE NAIL SPACING BY 1/3

SHEARWALL	1/2" PLY OR OSB,	PANEL EDGE NAILING ANCHORS TO FOUNDATION
SWB	ONE FACE	3" COMMON NAILS @ 4" 3/8" ANCHOR BOLTS @ 2'-6"
SWC	ONE FACE	3" COMMON NAILS @ 2 1/2" 3/8" ANCHOR BOLTS @ 2'-0"

TYPICAL FRAMING (UNLESS NOTED OTHERWISE IN PLAN):

FLOOR JOISTS	11 7/8" TJI 230 @ 16"	
BUILT-UP BEAMS AND LINTELS	2 - 2x10	
INTERIOR LOAD BEARING WALLS	2x6 @ 16"	
EXTERIOR WALLS	2x6 @ 16"	
GL DENOTES GLULAM		
ML DENOTES MICROLAM		
DRAG STRUT CONNECTOR	MSTC40	

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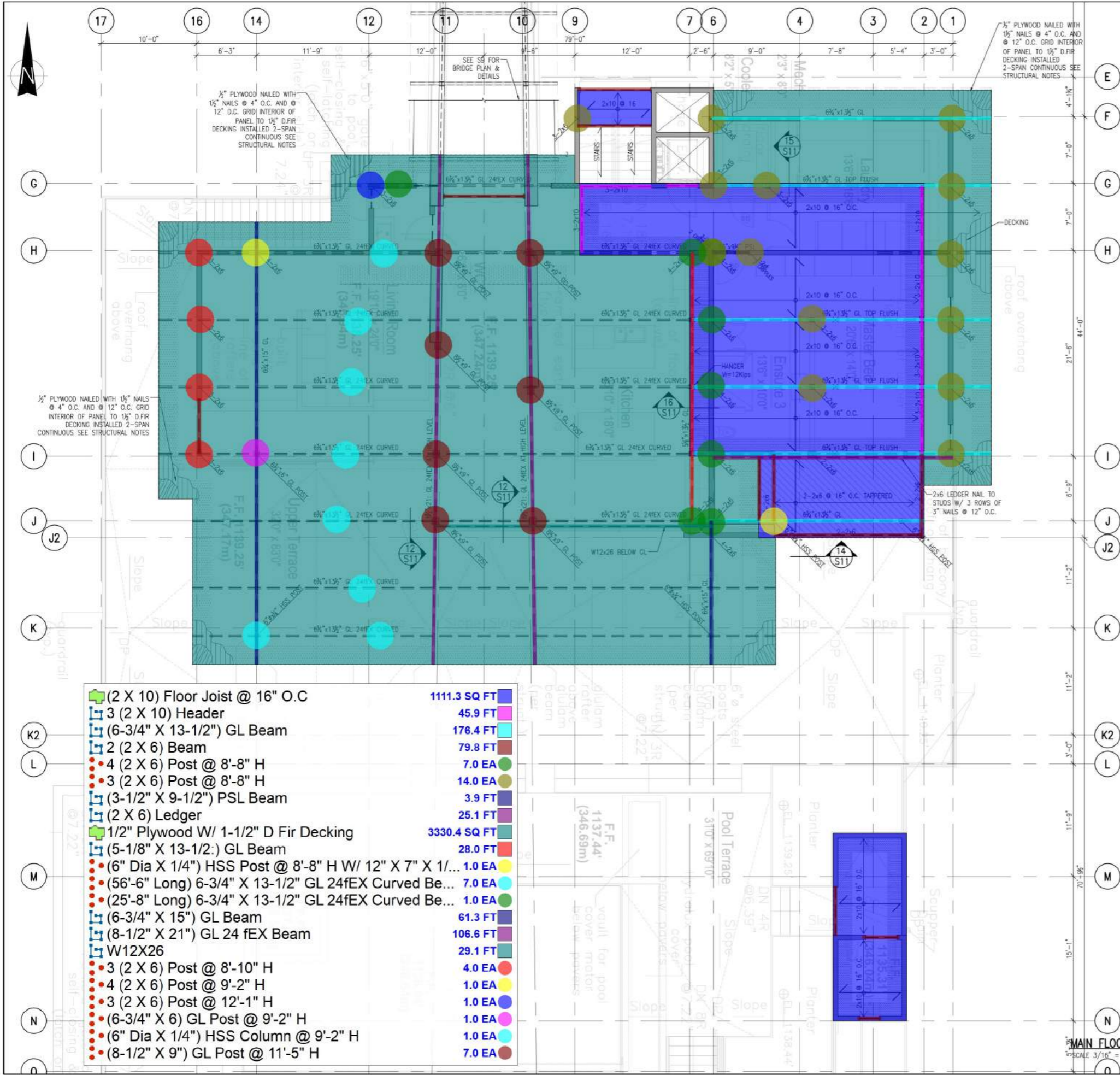
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project:
LAPRAIRIE LAKE HOUSE
1887 JENNENS ROAD
WEST KELOWNA, BC

drawing title:
GROUND FLOOR PLAN/
MAIN FLOOR FRAMING PLAN

SCALE:	PROJECT NO.
3/16" = 1'-0"	18076
DESIGN:	S5
DRAWN:	
CHECKED BY:	
DATE:	
MAY 24/18	OF 13

GROUND FLOOR PLAN-MAIN FLOOR FRAMING PLAN
SCALE 3/16" = 1'-0"



TYPICAL HATCH PATTERNS:

FLOOR HATCH
 -> OUTLINES EXTENT OF FLOOR SPACE ABOVE

DECK HATCH
 -> HATCHES DECK AREAS IN FLOOR ABOVE

PLANTER HATCH
 -> SHOWS LOCATION OF PLANTERS ON FLOOR ABOVE

BLOCKED FLOOR SHEATHING
 -> FLOOR SHEATHING BLOCKED AND PANEL EDGES NAILED AS PER SWC

LOAD BEARING WALL/ EXTERIOR WALL ABOVE
 -> FLOOR SHEATHING BLOCKED AND PANEL EDGES NAILED AS PER SWC

POINT LOAD
 -> LOCATION OF POINT LOAD ABOVE

SHEAR WALL SCHEDULE ¹/_{S12} SEE DETAIL

SHEAR WALL TYPE AS NOTED IN PLAN

SW-

NAIL INTERMEDIATE SUPPORTS @ 12", BLOCK ALL PANEL EDGES
 FOR NAIL GUNS DECREASE NAIL SPACING BY 1/3

SHEARWALL	1/2" PLY OR OSB	PANEL EDGE NAILING ANCHORS TO FOUNDATION
SWB	ONE FACE	3" COMMON NAILS @ 4" 3/8" ANCHOR BOLTS @ 2'-6"
SWC	ONE FACE	3" COMMON NAILS @ 25" 3/8" ANCHOR BOLTS @ 2'-0"

TYPICAL FRAMING (UNLESS NOTED OTHERWISE IN PLAN):

FLOOR JOISTS	1 1/8" TJI 230 @ 16"
BUILT-UP BEAMS AND LINTELS	2 - 2x10
INTERIOR LOAD BEARING WALLS	2x6 @ 16"
EXTERIOR WALLS	2x6 @ 16"
GL DENOTES GLULAM	
ML DENOTES MICROLAM	
DRAG STRUT CONNECTOR	MSTC40

(2 X 10) Floor Joist @ 16" O.C	1111.3 SQ FT
3 (2 X 10) Header	45.9 FT
(6-3/4" X 13-1/2") GL Beam	176.4 FT
2 (2 X 6) Beam	79.8 FT
4 (2 X 6) Post @ 8'-8" H	7.0 EA
3 (2 X 6) Post @ 8'-8" H	14.0 EA
(3-1/2" X 9-1/2") PSL Beam	3.9 FT
(2 X 6) Ledger	25.1 FT
1/2" Plywood W/ 1-1/2" D Fir Decking	3330.4 SQ FT
(5-1/8" X 13-1/2") GL Beam	28.0 FT
(6" Dia X 1/4") HSS Post @ 8'-8" H W/ 12" X 7" X 1/...	1.0 EA
(56'-6" Long) 6-3/4" X 13-1/2" GL 24fEX Curved Be...	7.0 EA
(25'-8" Long) 6-3/4" X 13-1/2" GL 24fEX Curved Be...	1.0 EA
(6-3/4" X 15") GL Beam	61.3 FT
(8-1/2" X 21") GL 24 fEX Beam	106.6 FT
W12X26	29.1 FT
3 (2 X 6) Post @ 8'-10" H	4.0 EA
4 (2 X 6) Post @ 9'-2" H	1.0 EA
3 (2 X 6) Post @ 12'-1" H	1.0 EA
(6-3/4" X 6) GL Post @ 9'-2" H	1.0 EA
(6" Dia X 1/4") HSS Column @ 9'-2" H	1.0 EA
(8-1/2" X 9") GL Post @ 11'-5" H	7.0 EA

MAIN FLOOR PLAN-UPPER FLOOR FRAMING PLAN-LOWER ROOF FRAMING PLAN
 SCALE 3/16" = 1'-0"

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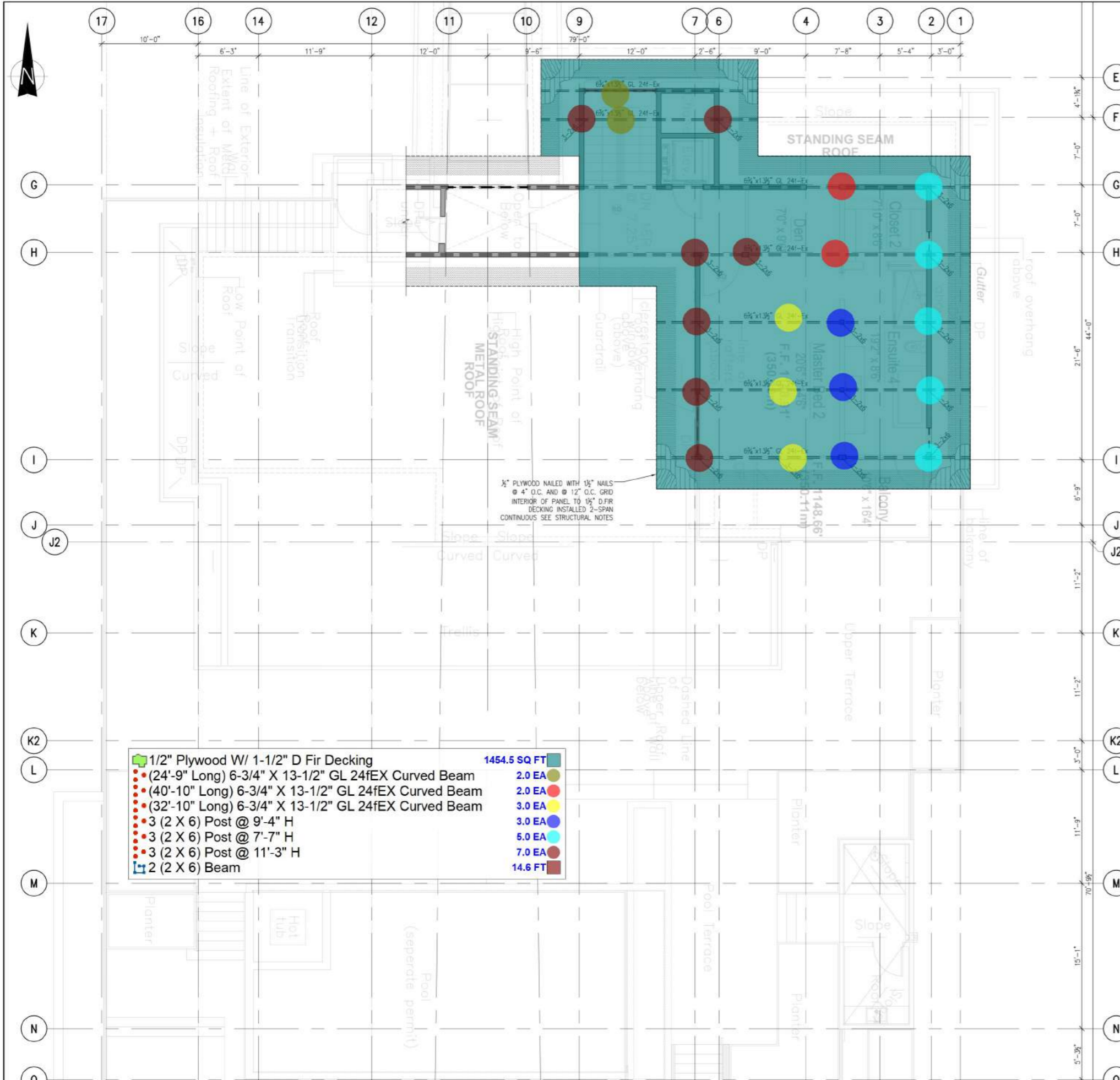
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 LAPRAIRIE LAKE HOUSE
 1887 JENNENS ROAD
 WEST KELOWNA, BC

drawing title:
 MAIN FLOOR PLAN/
 UPPER FLOOR FRAMING PLAN/
 LOWER ROOF FRAMING PLAN

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	1/2" Plywood W/ 1-1/2" D Fir Decking	1454.5 SQ FT
	(24'-9" Long) 6-3/4" X 13-1/2" GL 24fEX Curved Beam	2.0 EA
	(40'-10" Long) 6-3/4" X 13-1/2" GL 24fEX Curved Beam	2.0 EA
	(32'-10" Long) 6-3/4" X 13-1/2" GL 24fEX Curved Beam	3.0 EA
	3 (2 X 6) Post @ 9'-4" H	3.0 EA
	3 (2 X 6) Post @ 7'-7" H	5.0 EA
	3 (2 X 6) Post @ 11'-3" H	7.0 EA
	2 (2 X 6) Beam	14.6 FT

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-> FLOOR SHEATHING BLOCKED AND PANEL EDGES NAILED AS PER SWC
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POINT LOAD
-> LOCATION OF POINT LOAD ABOVE

SHEAR WALL SCHEDULE 1 SEE DETAIL

SHEAR WALL TYPE AS NOTED IN PLAN

SW-

1. NAIL INTERMEDIATE SUPPORTS @ 12", BLOCK ALL PANEL EDGES
FOR NAIL GUNS DECREASE NAIL SPACING BY 1/3

SHEAR WALL	1/2" PLY OR OSB	PANEL EDGE NAILING ANCHORS TO FOUNDATION
SWB	ONE FACE	3" COMMON NAILS @ 4" 3/8" ANCHOR BOLTS @ 2'-6"
SWC	ONE FACE	3" COMMON NAILS @ 25" 3/8" ANCHOR BOLTS @ 2'-0"

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INTERIOR LOAD BEARING WALLS	2x6 @ 16"	
EXTERIOR WALLS	2x6 @ 16"	
GL DENOTES GLULAM		
ML DENOTES MICROLAM		
DRAG STRUT CONNECTOR	MSTC40	

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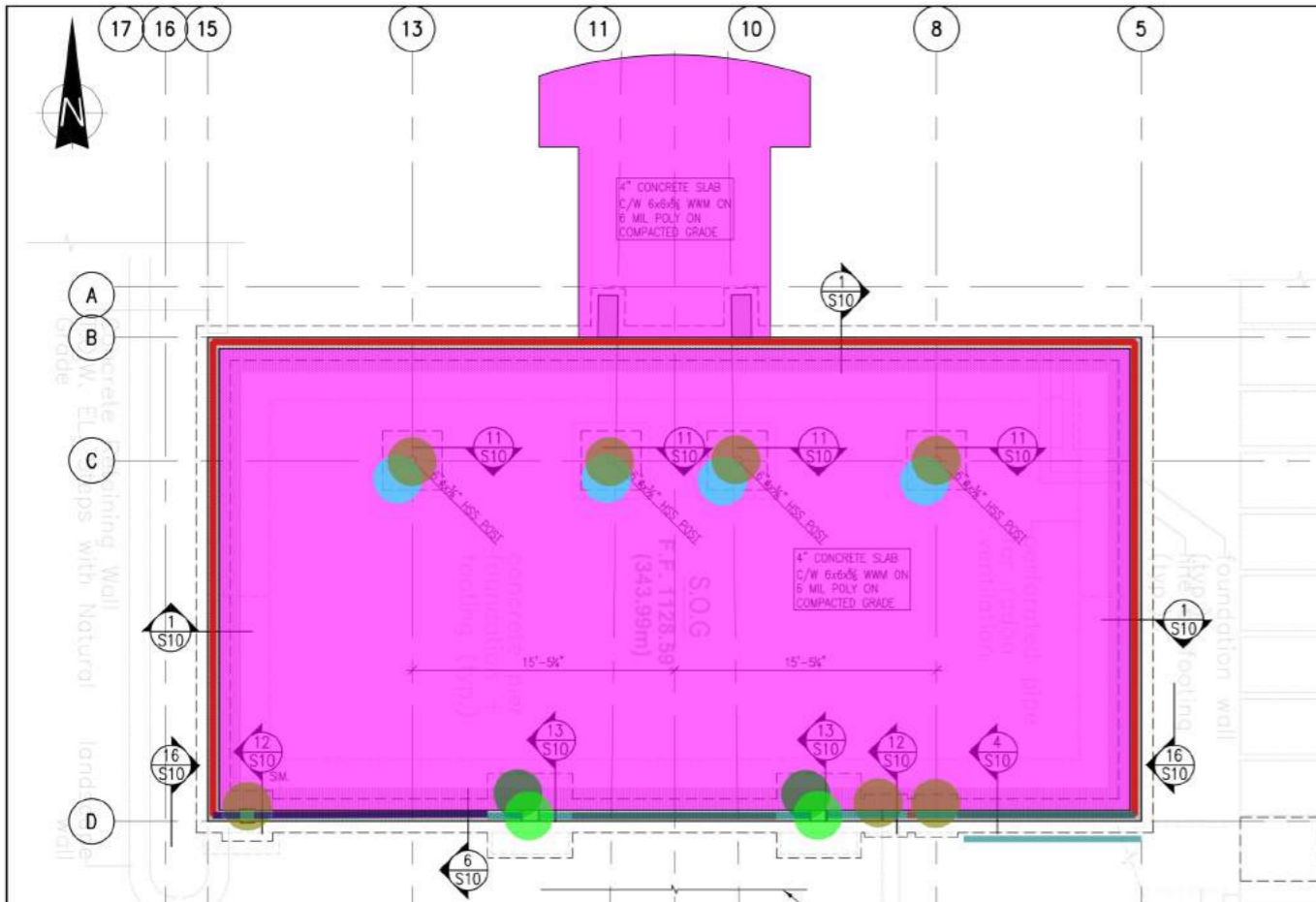
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drawing title:
UPPER FLOOR PLAN/
ROOF FRAMING PLAN

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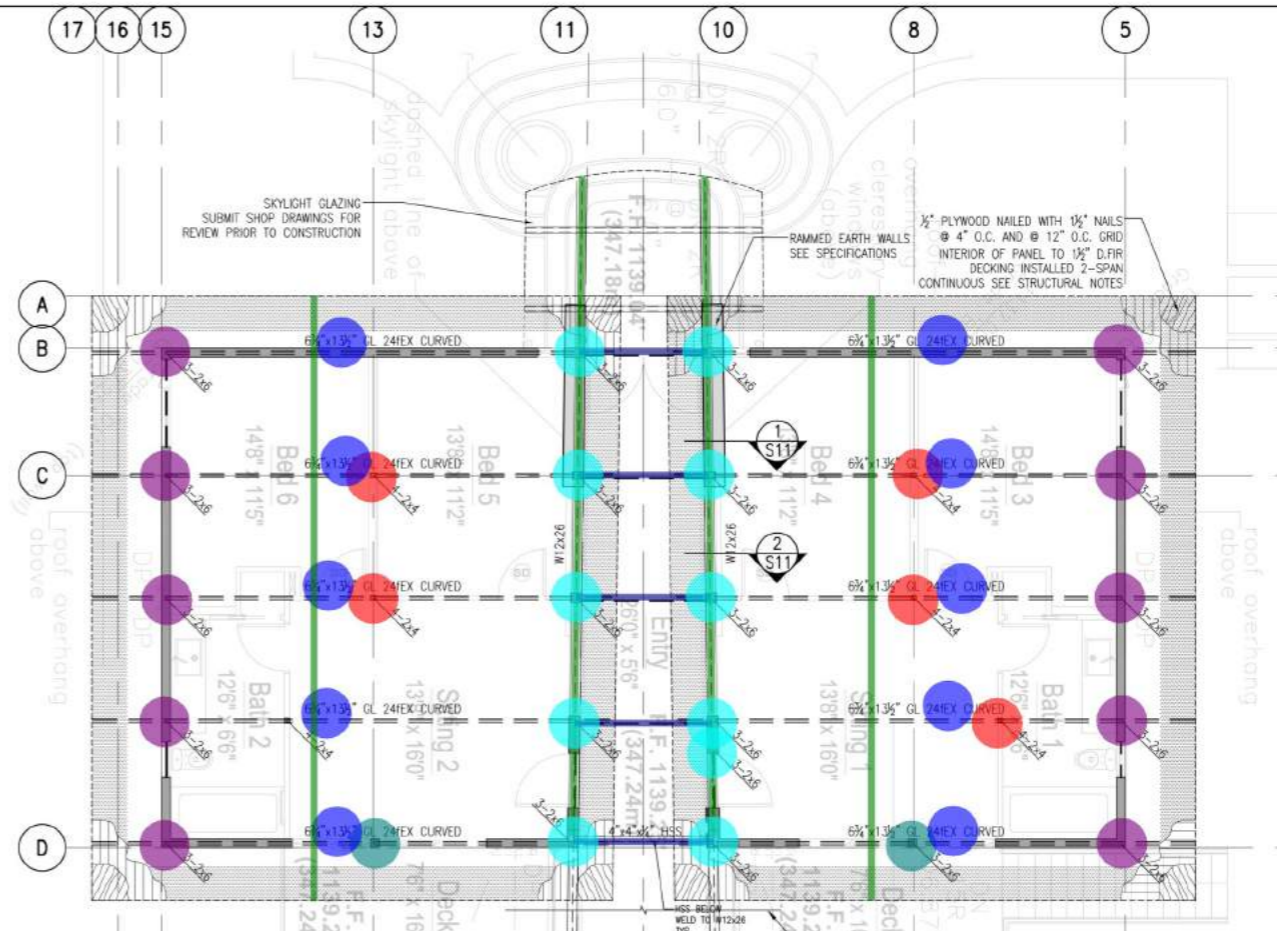
UPPER FLOOR PLAN-ROOF FRAMING PLAN
SCALE 3/16" = 1'-0"



GARAGE FOUNDATION PLAN

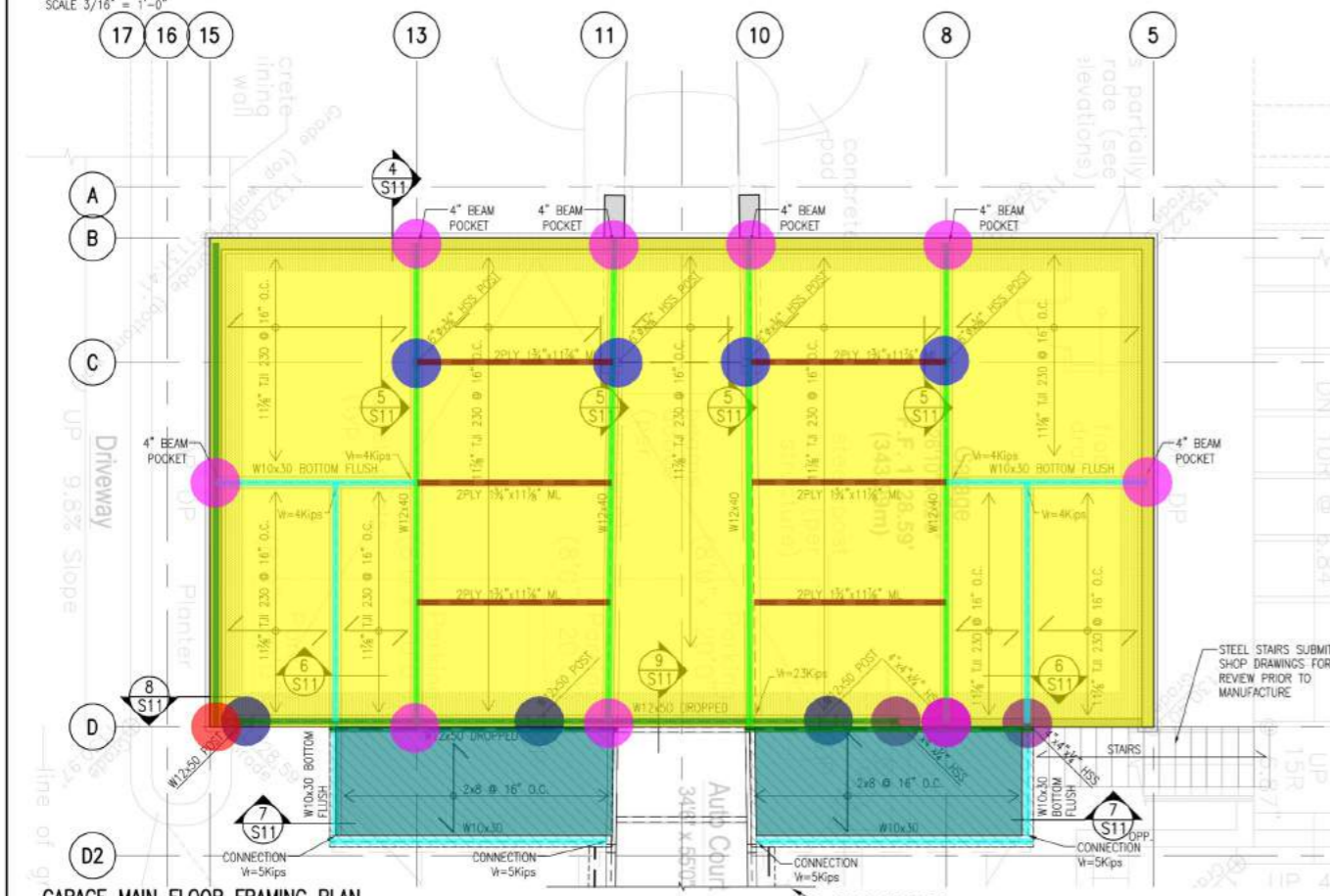
SCALE 3/16" = 1'-0"

SEE S9 FOR BRIDGE PLAN & DETAILS



GARAGE MAIN FLOOR PLAN-ROOF FRAMING PLAN

- (42" X 42" X 12") Concrete Pad Footing (11/S10) 4.0 EA
- (24" Wide X 8" H) Cont. Concrete Footing (6/S10) 146.2 FT
- (54" X 54" X 12") Concrete Pad Footing (13/S10) 2.0 EA
- (30" X 30" X 10") Concrete Pad Footing (12/S10) 3.0 EA
- (12" H X 8" Wide) Concrete Foundation Wall (6/S10) 15.4 FT
- (20" H X 8" Wide) Concrete Foundation Wall (4/S10) 46.9 FT
- (11'-4" H X 8" Wide) Concrete Foundation Wall (1/S10) 110.1 FT
- (12" Wide X 8" Thk X 22" H) Concrete Foundation Wall (13/S10) 2.0 EA
- (4" Thk) Concrete Slab 1666.0 SQ FT
- W10X30 Beam 97.0 FT
- W12X50 Beam 100.5 FT
- 6" Dia X 3/8" HSS Post @ 9' H 4.0 EA
- W12X50 Column @ 9' H 3.0 EA
- (4" X 4" X 1/4") HSS Post @ 9' H 3.0 EA
- (2 X 8") Floor Joist @ 16" O.C 200.8 SQ FT
- (1/4" X 12" H) Stiffener Plate W/ (10" X 8") Cap Plate 1.0 EA
- W12X40 Beam 112.8 FT
- 11-7/8" TJI 230 Floor Joist @ 16" O.C 1568.7 SQ FT
- (1/4" X 12" H) Stiffener Plate W/ (12" X 6" X 1/2") Cap Plate 4.0 EA
- 8" X 4" X 5/8" Bearing Plate 9.0 EA
- 2Ply 1-3/4" X 11-7/8" ML Beam 68.0 FT
- W12X26 Beam 75.3 FT
- (4" X 4" X 1/4") HSS Beam 38.3 FT
- 3-2X6 Post @ 8'-11" H 10.0 EA
- 3-2X6 Post @ 9'-9" H 2.0 EA
- 4-2X4 Post @ 9'-9" H 5.0 EA
- (30'-3" Long) 6-3/4" X 13-1/2" GL 24FEX Curved Beam 10.0 EA
- 3-2X6 Post @ 13'-1" H 11.0 EA
- (30'-3" Long) 1/2" Plywood W/ 1-1/2" DFir Decking 69.0 FT



GARAGE MAIN FLOOR FRAMING PLAN

SCALE 3/16" = 1'-0"

SEE S9 FOR BRIDGE PLAN & DETAILS

**HELLIWELL + SMITH
BLUE SKY
ARCHITECTURE
INC.**

4090 BAYRIDGE AVENUE
WEST VANCOUVER
BRITISH COLUMBIA
CANADA, V7V 3K1
PHONE (604) 921-8646
FAX (604) 921-0755

8	DEC. 14/22	PRICING
7	NOV. 26/21	REVISED B.P.
6	APR. 29/21	BUILDING PERMIT
5	APR. 15/21	IN PROGRESS
4	MAR. 10/21	REVISED
3	FEB. 11/21	IN PROGRESS
2	JUN. 19/19	REVIEW
1	JUN. 17/19	REVIEW

REV: DATE ISSUED FOR:

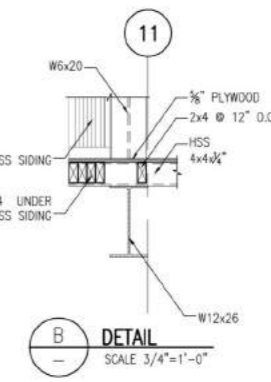
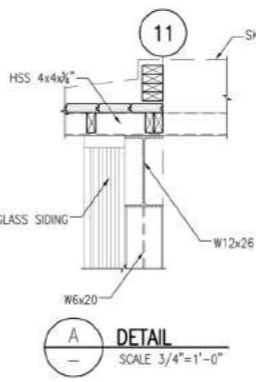
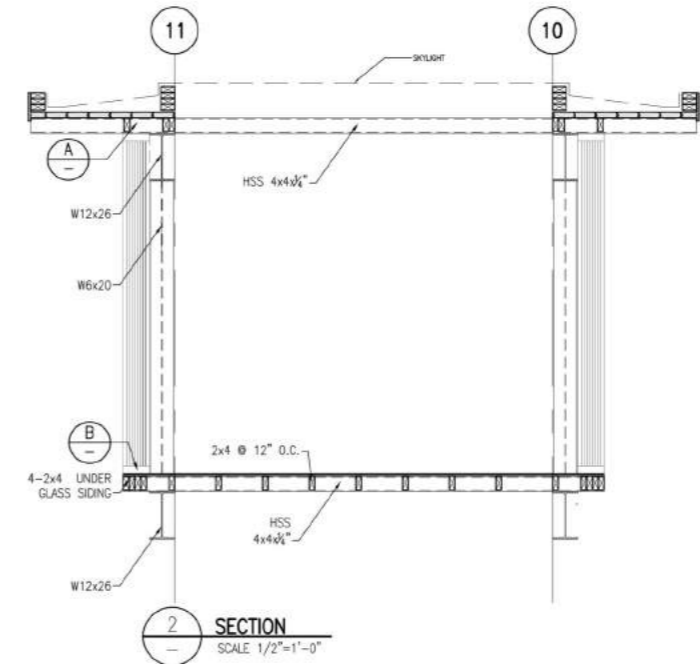
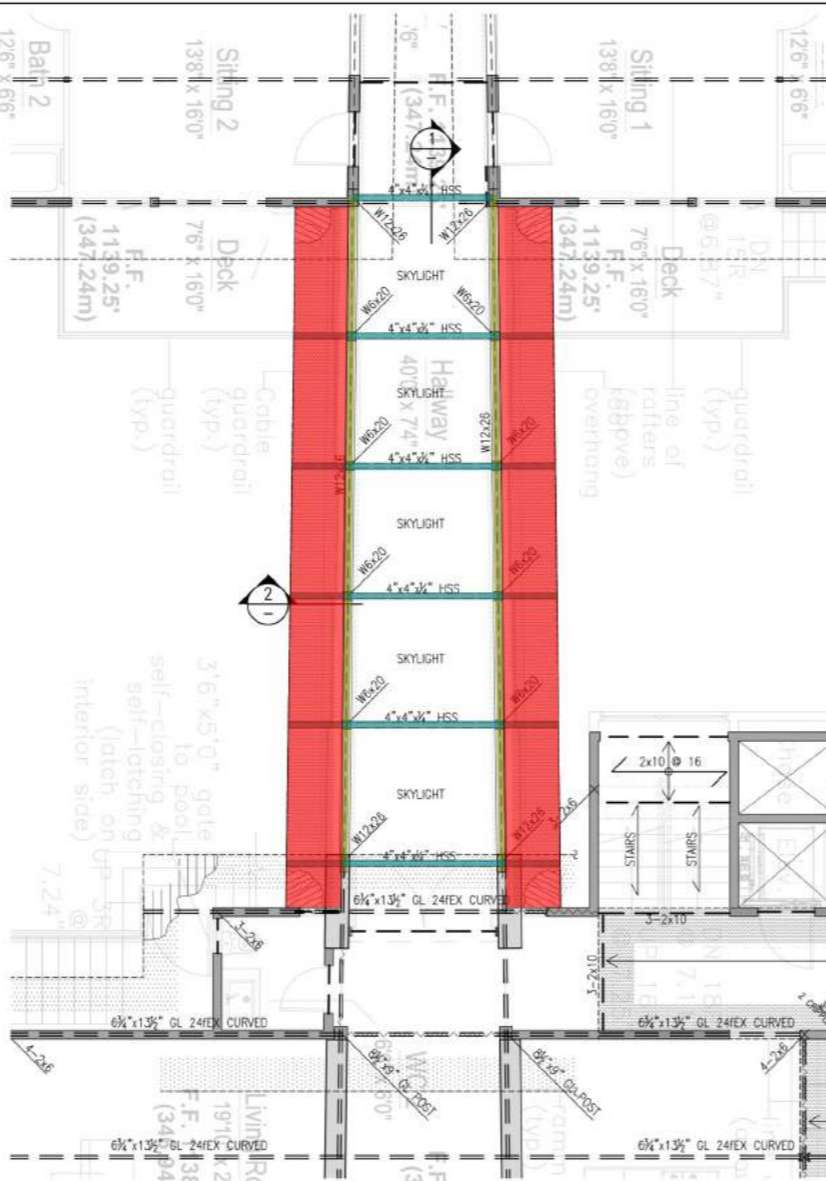
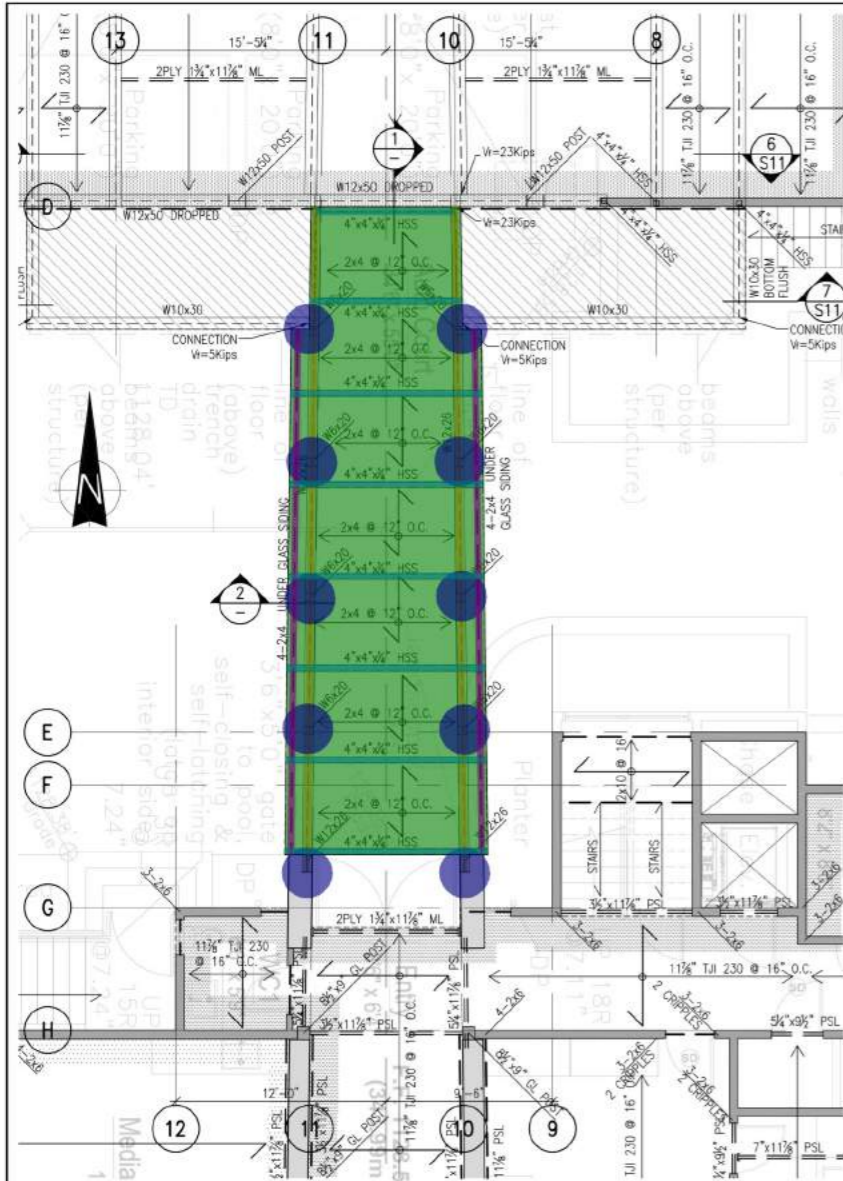


653 East 15th Ave Vancouver, B.C. V5T 2R6 T: 604-737-9630
mail@chiuhippmann.ca

project:
LAPRAIRIE LAKE HOUSE
1887 JENNENS ROAD
WEST KELOWNA, BC

drawing title:
GARAGE FOUNDATION PLAN
GARAGE MAIN FLOOR FRAMING
GARAGE MAIN FLOOR PLAN/
GARAGE ROOF FRAMING PLAN

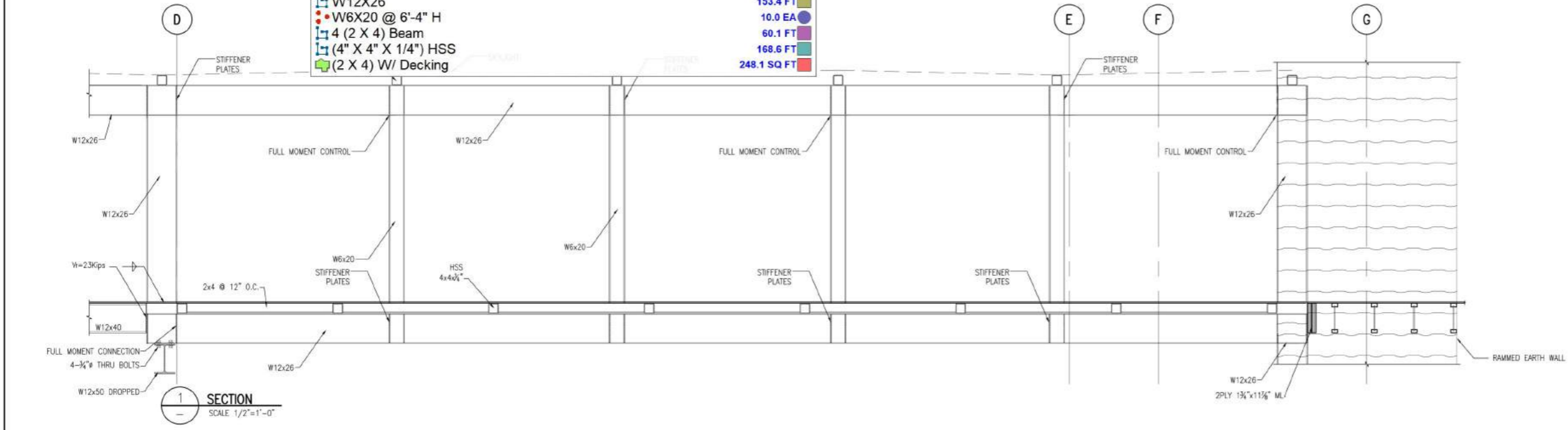
SCALE:	PROJECT NO.:
3/16" = 1'-0"	18076
DESIGN:	S8
DRAWN:	
CHECKED BY:	
DATE:	
C.C.	OF 13
A.C.	
CHE	
MAY 24/18	



BRIDGE FLOOR FRAMING PLAN
SCALE 3/16" = 1'-0"

BRIDGE ROOF FRAMING PLAN
SCALE 3/16" = 1'-0"

(2 X 4) Josit @ 12" O.C W/ 5/8" Plywood	397.2 SQ FT
W12X26	153.4 FT
W6X20 @ 6'-4" H	10.0 EA
4 (2 X 4) Beam	60.1 FT
(4" X 4" X 1/4") HSS	168.6 FT
(2 X 4) W/ Decking	248.1 SQ FT



SECTION 1
SCALE 1/2" = 1'-0"

HELLIWELL + SMITH
BLUE SKY
ARCHITECTURE
INC.

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WEST VANCOUVER
BRITISH COLUMBIA
CANADA, V7V 3K1
PHONE (604) 921-8646
FAX (604) 921-0755

REV.	DATE	ISSUED FOR:
8	DEC. 14/22	PRICING
7	NOV. 26/21	REVISED B.P.
6	APR. 29/21	BUILDING PERMIT
5	APR. 15/21	IN PROGRESS
4	MAR. 10/21	REVISED
3	FEB. 11/21	IN PROGRESS
2	JUN. 19/19	REVIEW
1	JUN. 17/19	REVIEW

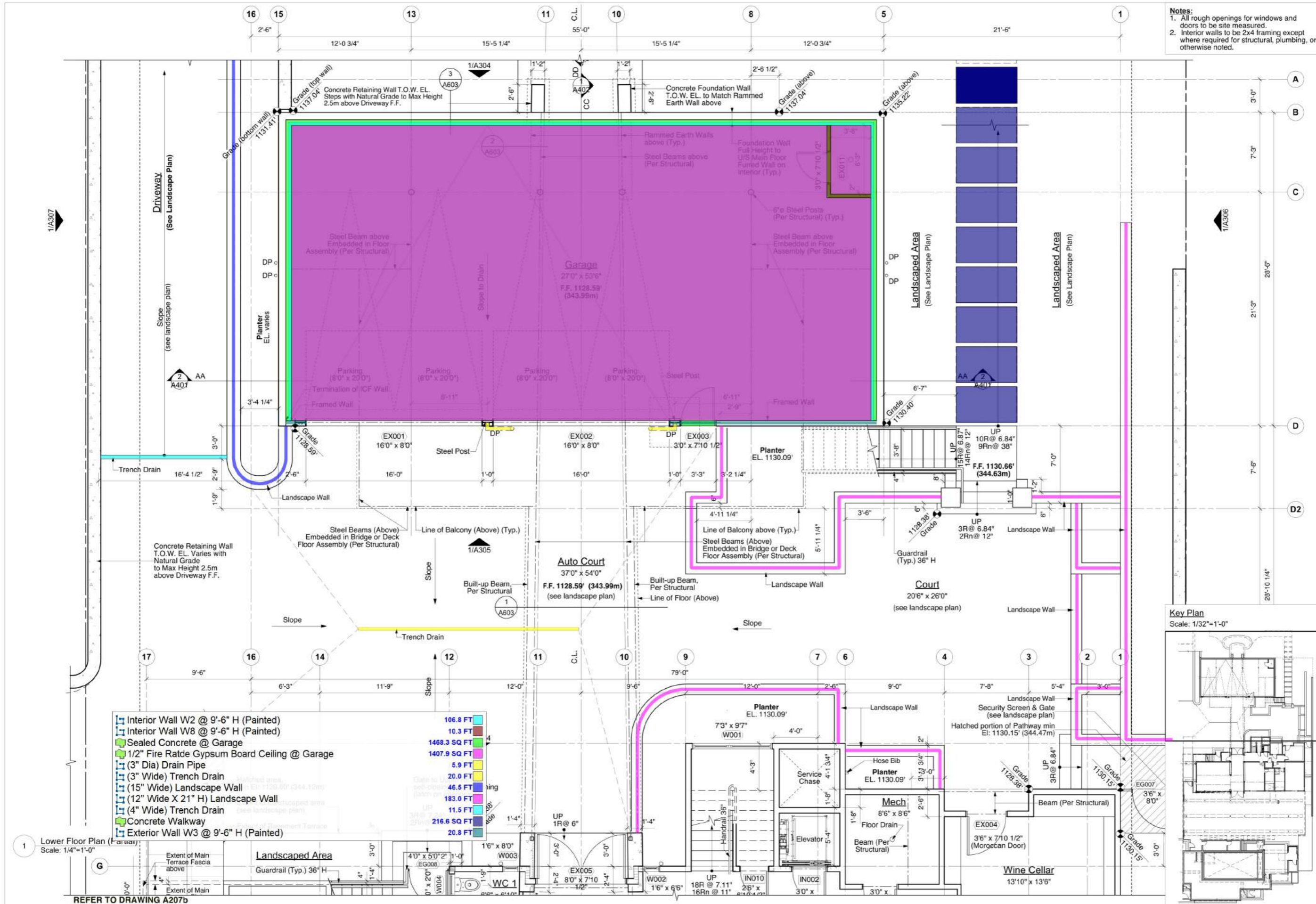
Chiu Himmann Engineering Inc.
Consulting Structural Engineers

653 East 15th Ave Vancouver, B.C. V5T 2R6 T: 604-737-9630
mail@chiuhimmann.ca

project:
LAPRAIRIE LAKE HOUSE
1887 JENNENS ROAD
WEST KELOWNA, BC

drawing title:
BRIDGE FOUNDATION PLAN
BRIDGE FLOOR FRAMING PLAN
BRIDGE ROOF FRAMING PLAN
SECTIONS/DETAILS

SCALE:	PROJECT NO.
AS SHOWN	18076
DESIGN:	S9
DRAWN:	
CHECKED BY:	
DATE:	
MAY 24/18	OF 13



Notes:
 1. All rough openings for windows and doors to be site measured.
 2. Interior walls to be 2x4 framing except where required for structural, plumbing, or otherwise noted.

NO.	REVISION	DATE
1	Stiling	2019/10/18
2	Development Permit	2019/11/28
3	DP Re-submission	2020/02/03
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6	Building permit	2021/11/29
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10	Rev.4	2022/05/11
11	IFC	2022/07/21
12	Foundation Review	2022/09/21
13	IFC - Coordination	2022/10/21
14	Pricing / Foundations	2023/01/11

FIRST ISSUED
2019/11/28

SCALE
1/4"=1'-0" (1/8"=1'-0" @ 11"x17")

DRAWN BY
ks

CHECKED BY
ks/ bh

NOTE:
 This set of drawings and the design as shown remain the property of Helliwell + Smith Blue Sky Architecture Inc.. Contractor and all sub-trades shall verify all dimensions on site. Do not scale these drawings. Report any discrepancies to Helliwell + Smith Blue Sky Architecture Inc.
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PROJECT
LAPRAIRIE HOME
 1887 Jennens Road
 West Kelowna
 British Columbia

SHEET TITLE
Lower Floor Plan (Partial)

**HELLIWELL + SMITH
 BLUE SKY
 ARCHITECTURE
 INC.**

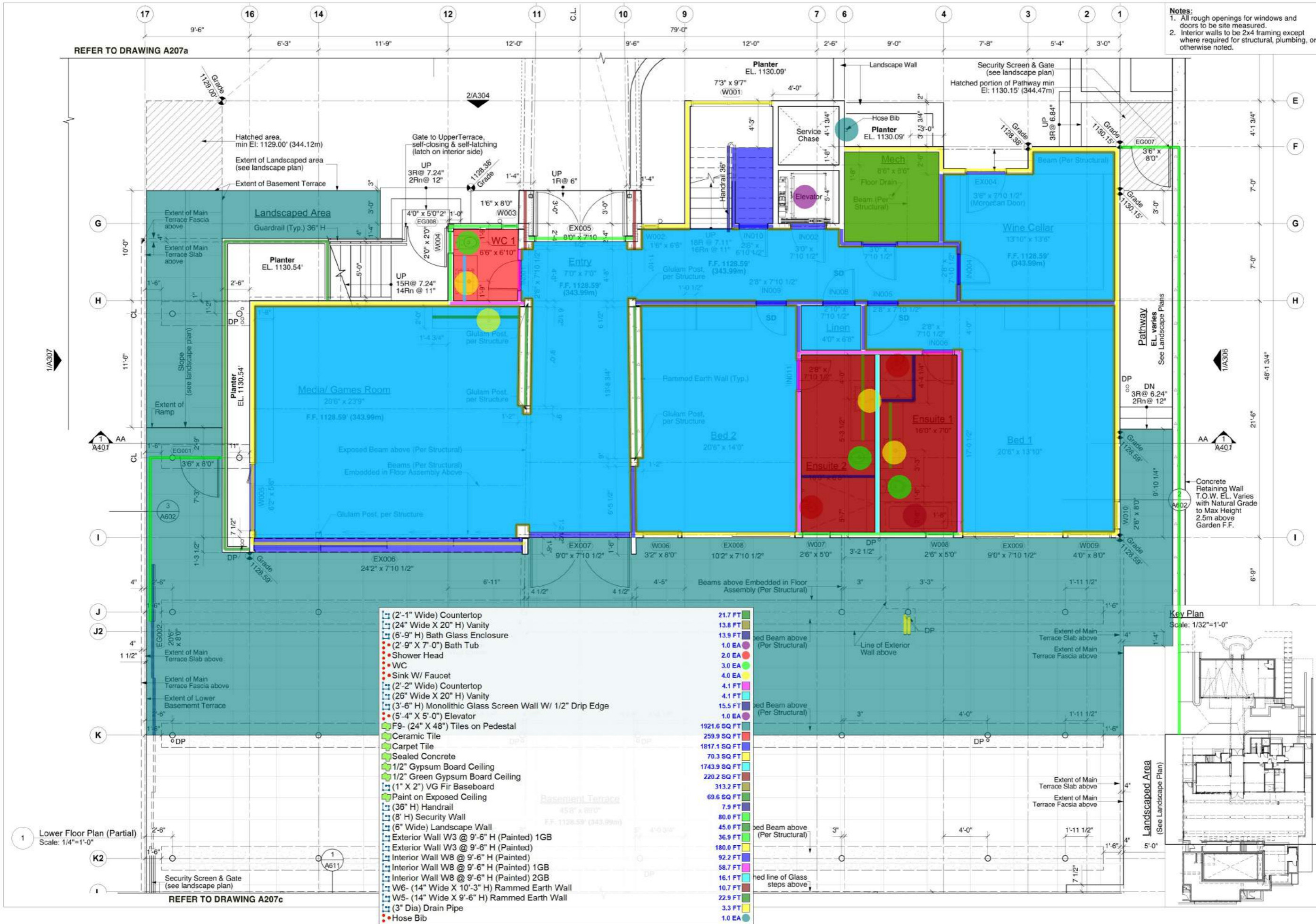
4090 BAYRIDGE AVE.
 WEST VANCOUVER
 BRITISH COLUMBIA
 CANADA, V7V 3K1

PHONE (604) 921-8646
 FAX (604) 921-0755

SHEET NO.
A207a

- Interior Wall W2 @ 9'-6" H (Painted) 106.8 FT
- Interior Wall W8 @ 9'-6" H (Painted) 10.3 FT
- Sealed Concrete @ Garage 1469.3 SQ FT
- 1/2" Fire Ratde Gypsum Board Ceiling @ Garage 1407.9 SQ FT
- (3" Dia) Drain Pipe 5.9 FT
- (3" Wide) Trench Drain 20.0 FT
- (15" Wide) Landscape Wall 46.5 FT
- (12" Wide X 21" H) Landscape Wall 183.0 FT
- (4" Wide) Trench Drain 11.5 FT
- Concrete Walkway 216.6 SQ FT
- Exterior Wall W3 @ 9'-6" H (Painted) 20.8 FT

1 Lower Floor Plan (Partial)
 Scale: 1/4"=1'-0"
 REFER TO DRAWING A207b



Notes:
 1. All rough openings for windows and doors to be site measured.
 2. Interior walls to be 2x4 framing except where required for structural, plumbing, or otherwise noted.

NO.	REVISION	DATE
1	Siting	2019/10/18
2	Development Permit	2019/11/28
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5	Design Development	2020/11/17
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13	IFC - Coordination	2022/10/21
14	Pricing / Foundations	2023/01/11

FIRST ISSUED
2019/11/28

SCALE
1/4"=1'-0" (1/8"=1'-0" @ 11"x17")

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PROJECT
LAPRAIRIE HOME
 1887 Jennens Road
 West Kelowna
 British Columbia

SHEET TITLE
Lower Floor Plan (Partial)

**HELLIWELL + SMITH
 BLUE SKY
 ARCHITECTURE
 INC.**

4090 BAYRIDGE AVE.
 WEST VANCOUVER
 BRITISH COLUMBIA
 CANADA, V7V 3K1

PHONE (604) 921-8646
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SHEET NO.
A207b

- (2'-1" Wide) Countertop
 - (24" Wide X 20" H) Vanity
 - (6'-9" H) Bath Glass Enclosure
 - (2'-9" X 7'-0") Bath Tub
 - Shower Head
 - WC
 - Sink W/ Faucet
 - (2'-2" Wide) Countertop
 - (26" Wide X 20" H) Vanity
 - (3'-6" H) Monolithic Glass Screen Wall W/ 1/2" Drip Edge
 - (5'-4" X 5'-0") Elevator
 - F9- (24" X 48") Tiles on Pedestal
 - Ceramic Tile
 - Carpet Tile
 - Sealed Concrete
 - 1/2" Gypsum Board Ceiling
 - 1/2" Green Gypsum Board Ceiling
 - (1" X 2") VG Fir Baseboard
 - Paint on Exposed Ceiling
 - (36" H) Handrail
 - (8" H) Security Wall
 - (6" Wide) Landscape Wall
 - Exterior Wall W3 @ 9'-6" H (Painted) 1GB
 - Exterior Wall W3 @ 9'-6" H (Painted)
 - Interior Wall W8 @ 9'-6" H (Painted)
 - Interior Wall W8 @ 9'-6" H (Painted) 1GB
 - Interior Wall W8 @ 9'-6" H (Painted) 2GB
 - W6- (14" Wide X 10'-3" H) Rammed Earth Wall
 - W5- (14" Wide X 9'-6" H) Rammed Earth Wall
 - (3" Dia) Drain Pipe
 - Hose Bib
- | | |
|--------------|---------------------------------|
| 21.7 FT | bed Beam above (Per Structural) |
| 13.8 FT | bed Beam above (Per Structural) |
| 13.9 FT | bed Beam above (Per Structural) |
| 1.0 EA | bed Beam above (Per Structural) |
| 2.0 EA | bed Beam above (Per Structural) |
| 3.0 EA | bed Beam above (Per Structural) |
| 4.0 EA | bed Beam above (Per Structural) |
| 4.1 FT | bed Beam above (Per Structural) |
| 4.1 FT | bed Beam above (Per Structural) |
| 15.5 FT | bed Beam above (Per Structural) |
| 1.0 EA | bed Beam above (Per Structural) |
| 1921.6 SQ FT | bed Beam above (Per Structural) |
| 259.9 SQ FT | bed Beam above (Per Structural) |
| 1817.1 SQ FT | bed Beam above (Per Structural) |
| 70.3 SQ FT | bed Beam above (Per Structural) |
| 1743.9 SQ FT | bed Beam above (Per Structural) |
| 220.2 SQ FT | bed Beam above (Per Structural) |
| 313.2 FT | bed Beam above (Per Structural) |
| 69.6 SQ FT | bed Beam above (Per Structural) |
| 7.9 FT | bed Beam above (Per Structural) |
| 80.0 FT | bed Beam above (Per Structural) |
| 45.0 FT | bed Beam above (Per Structural) |
| 36.9 FT | bed Beam above (Per Structural) |
| 180.0 FT | bed Beam above (Per Structural) |
| 92.2 FT | bed Beam above (Per Structural) |
| 58.7 FT | bed Beam above (Per Structural) |
| 16.1 FT | bed line of Glass steps above |
| 10.7 FT | bed line of Glass steps above |
| 22.9 FT | bed line of Glass steps above |
| 3.3 FT | bed line of Glass steps above |
| 1.0 EA | bed line of Glass steps above |

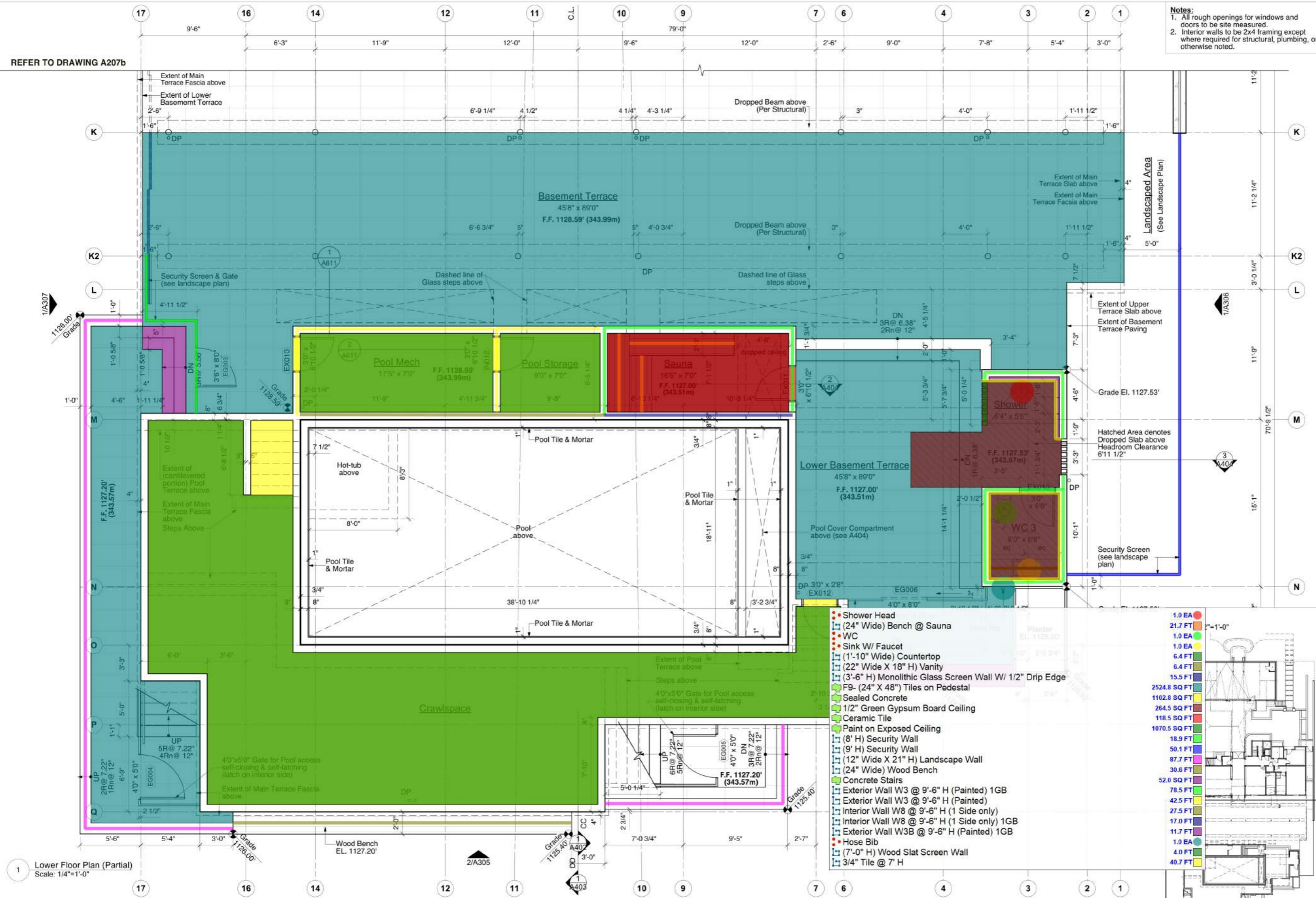
Key Plan
Scale: 1/32"=1'-0"



1 Lower Floor Plan (Partial)
Scale: 1/4"=1'-0"

REFER TO DRAWING A207c

REFER TO DRAWING A207a



Notes:
 1. All rough openings for windows and doors to be site measured.
 2. Interior walls to be 2x4 framing except where required for structural, plumbing, or otherwise noted.

REFER TO DRAWING A207b

1 Lower Floor Plan (Partial)
 Scale: 1/4"=1'-0"

NO.	REVISION	DATE
1	Stiling	2019/10/18
2	Development Permit	2019/11/28
3	DP Re-submission	2020/02/03
4	Design Development	2020/11/13
5	Design Development	2020/11/17
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10	Rev.4	2022/05/11
11	IFC	2022/07/21
12	Foundation Review	2022/09/21
13	IFC - Coordination	2022/10/21
14	Pricing / Foundations	2023/01/11

FIRST ISSUED
 2019/11/28

SCALE
 1/4"=1'-0" (1/8"=1'-0" @ 11"x17")

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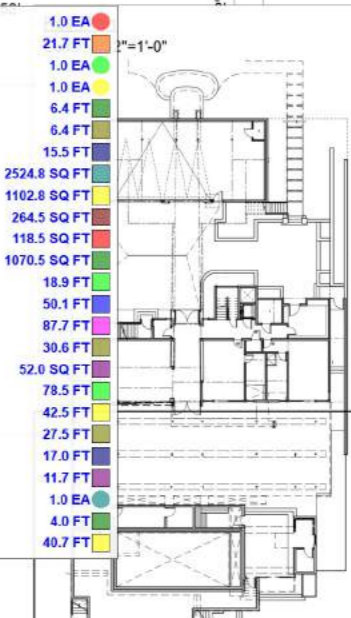
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PROJECT
LAPRAIRIE HOME
 1887 Jennens Road
 West Kelowna
 British Columbia

SHEET TITLE
Lower Floor Plan (Partial)

- Shower Head
- (24" Wide) Bench @ Sauna
- WC
- Sink W/ Faucet
- (1'-10" Wide) Countertop
- (22" Wide X 18" H) Vanity
- (3'-6" H) Monolithic Glass Screen Wall W/ 1/2" Drip Edge
- F9- (24" X 48") Tiles on Pedestal
- Sealed Concrete
- 1/2" Green Gypsum Board Ceiling
- Ceramic Tile
- Paint on Exposed Ceiling
- (8' H) Security Wall
- (9' H) Security Wall
- (12" Wide X 21" H) Landscape Wall
- (24" Wide) Wood Bench
- Concrete Stairs
- Exterior Wall W3 @ 9'-6" H (Painted) 1GB
- Exterior Wall W3 @ 9'-6" H (Painted)
- Interior Wall W8 @ 9'-6" H (1 Side only)
- Interior Wall W8 @ 9'-6" H (1 Side only) 1GB
- Exterior Wall W3B @ 9'-6" H (Painted) 1GB
- Hose Bib
- (7'-0" H) Wood Slat Screen Wall
- 3/4" Tile @ 7' H

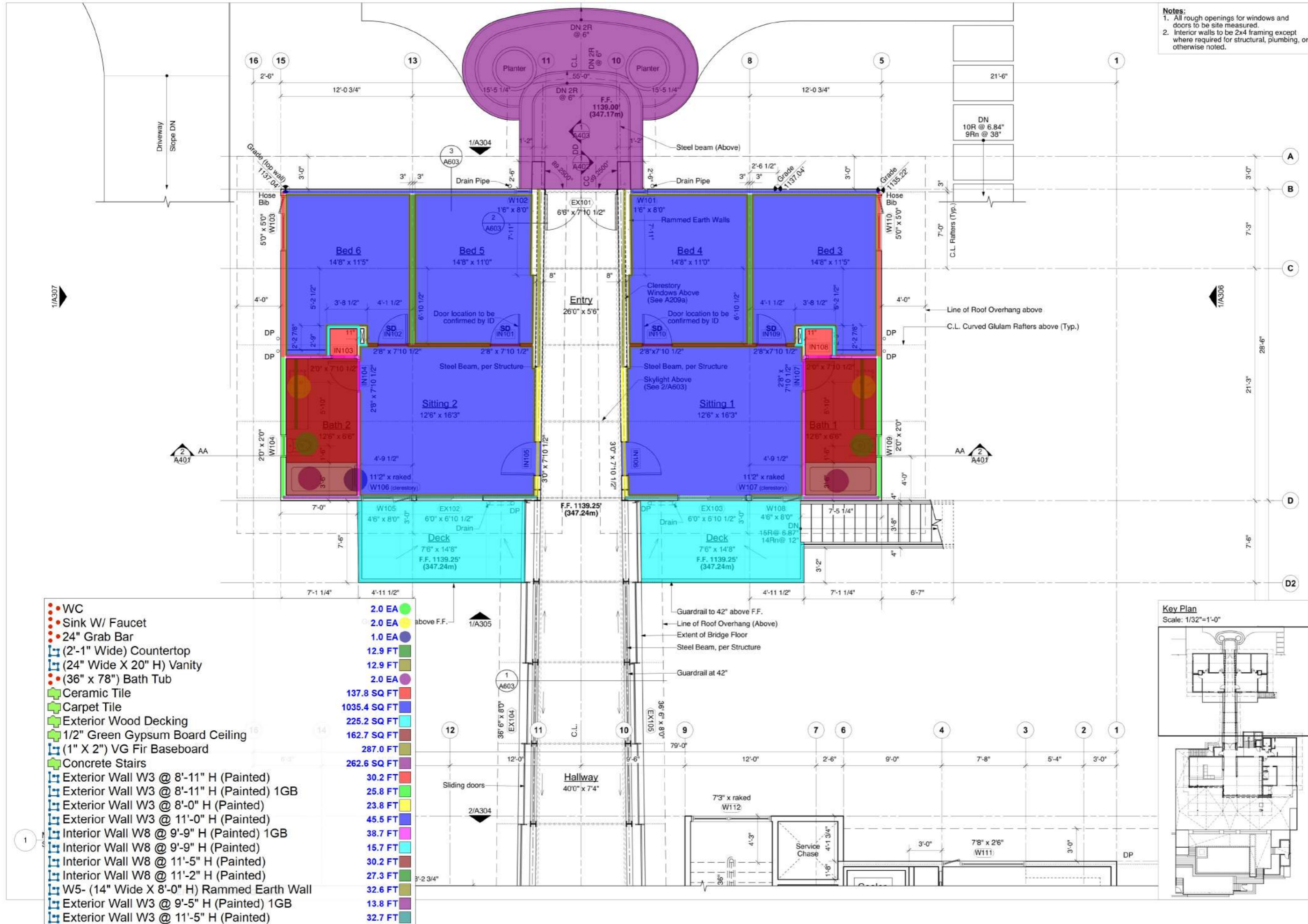


**HELLIWELL + SMITH
 BLUE SKY
 ARCHITECTURE
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 CANADA, V7V 3K1

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 FAX (604) 921-0755

SHEET NO.
A207c



Notes:
 1. All rough openings for windows and doors to be site measured.
 2. Interior walls to be 2x4 framing except where required for structural, plumbing, or otherwise noted.

NO.	REVISION	DATE
1	Siting	2019/10/18
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12	Foundation Review	2022/09/21
13	IFC - Coordination	2022/10/21
14	Pricing / Foundations	2023/01/11

FIRST ISSUED 2019/11/28

SCALE 1/4"=1'-0" (1/8"=1'-0" @ 11"x17")

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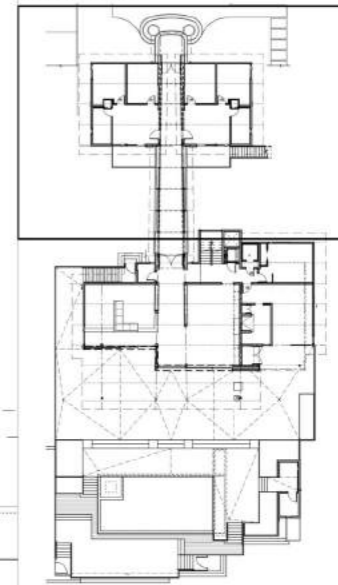
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PROJECT **LAPRAIRIE HOME**
 1887 Jennens Road
 West Kelowna
 British Columbia

SHEET TITLE **Main Floor Plan (Partial)**

Key Plan
 Scale: 1/32"=1'-0"



HELLIWELL + SMITH BLUE SKY ARCHITECTURE INC.

4090 BAYRIDGE AVE.
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SHEET NO. **A208a**

- WC
 - Sink W/ Faucet
 - 24" Grab Bar
 - (2'-1" Wide) Countertop
 - (24" Wide X 20" H) Vanity
 - (36" x 78") Bath Tub
 - Ceramic Tile
 - Carpet Tile
 - Exterior Wood Decking
 - 1/2" Green Gypsum Board Ceiling
 - (1" X 2") VG Fir Baseboard
 - Concrete Stairs
 - Exterior Wall W3 @ 8'-11" H (Painted)
 - Exterior Wall W3 @ 8'-11" H (Painted) 1GB
 - Exterior Wall W3 @ 8'-0" H (Painted)
 - Exterior Wall W3 @ 11'-0" H (Painted)
 - Interior Wall W8 @ 9'-9" H (Painted) 1GB
 - Interior Wall W8 @ 9'-9" H (Painted)
 - Interior Wall W8 @ 11'-5" H (Painted)
 - Interior Wall W8 @ 11'-2" H (Painted)
 - W5- (14" Wide X 8'-0" H) Rammed Earth Wall
 - Exterior Wall W3 @ 9'-5" H (Painted) 1GB
 - Exterior Wall W3 @ 11'-5" H (Painted)
- 2.0 EA
 - 2.0 EA above F.F.
 - 1.0 EA
 - 12.9 FT
 - 12.9 FT
 - 2.0 EA
 - 137.8 SQ FT
 - 1035.4 SQ FT
 - 225.2 SQ FT
 - 162.7 SQ FT
 - 287.0 FT
 - 262.6 SQ FT
 - 30.2 FT
 - 25.8 FT
 - 23.8 FT
 - 45.5 FT
 - 38.7 FT
 - 15.7 FT
 - 30.2 FT
 - 27.3 FT
 - 32.6 FT
 - 13.8 FT
 - 32.7 FT



Notes:

- All rough openings for windows and doors to be site measured.
- Interior walls to be 2x4 framing except where required for structural, plumbing, or otherwise noted.

NO.	REVISION	DATE
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7	Building permit Rev.1	2022/02/03

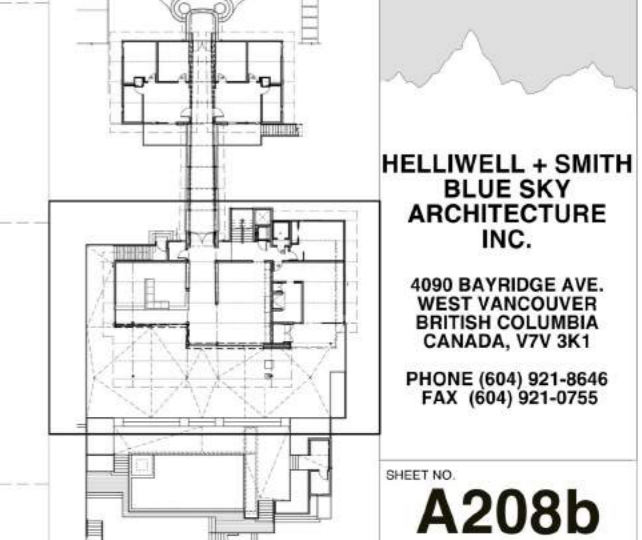
- WC
- Sink W/ Faucet
- (2'-2" Wide) Countertop
- (26" Wide X 20" H) Vanity
- (2'-1" Wide) Countertop
- (24" Wide X 20" H) Vanity
- Shower Head
- (6'-9" H) Bath Glass Enclosure
- Dishwasher
- (2'-1" X 5'-6") Cooking Range
- Ice Maker
- Fridge
- Fridge W/ Freezer
- (36" X 34") BBQ Grill
- Ceramic Tile
- Carpet Tile
- (24" Wide X 34" H) Base Cabinet
- (12" Wide X 32" H) Upper Cabinet
- Double Compartment Sink
- (5' X 8') Kitchen Island
- 4'-6" X 8'-8" Countertop
- (12" Wide) Shelving
- (24" Wide X 36" H) Base Cabinet
- (36" Deep X 7'-0" H) Closet
- Sealed Concrete
- F9- (24" X 48") Tiles on Pedestal 1F
- (1" X 2") VG Fir Baseboard
- 1/2" Gypsum Board Ceiling
- 1/2" Green Gypsum Board Ceiling
- (36" H) Handrail
- (60" H) Guardrail W/ Non Climable Edge
- Concrete Stairs
- Exterior Wall W3 @ 8'-8" H (Painted)
- Exterior Wall W3 @ 8'-8" H (Painted) 1GB
- Interior Wall W8 @ 8'-8" H (Painted) 1GB
- Interior Wall W8 @ 8'-8" H (Painted) 2GB
- Interior Wall W8 @ 8'-8" H (Painted)
- Exterior Wall W3 @ 9'-11" H (Painted)
- W5- (14" Wide X 8'-0" H) Rammed Earth Wall
- Exterior Wall W3 @ 11'-4" H (Painted)
- Exterior Wall W3 @ 11'-4" H (Painted) 1GB
- Interior Wall W8 @ 12'-7" H (Painted) 1GB
- Interior Wall W8 @ 13'-2" H (Painted)
- Interior Wall W8 @ 13'-0" H (Painted) 1GB

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PHONE (604) 921-8646
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SHEET NO.
A208b



1 Main Floor Plan (Partial)
Scale: 1/4"=1'-0"

REFER TO DRAWING A208c

REFER TO DWG. A208a

Notes:
 1. All rough openings for windows and doors to be site measured.
 2. Interior walls to be 2x4 framing except where required for structural, plumbing, or otherwise noted.

NO.	REVISION	DATE
1	Siting	2019/10/18
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FIRST ISSUED
2019/11/28

SCALE
1/4"=1'-0" (1/8"=1'-0" @ 11"x17")

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ks

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ks/ bh

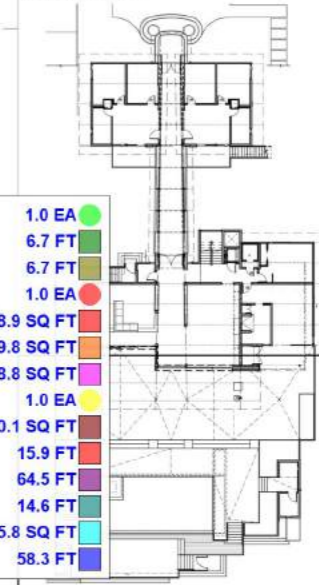
NOTE:
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PROJECT
LAPRAIRIE HOME
 1887 Jennens Road
 West Kelowna
 British Columbia

SHEET TITLE
Main Floor Plan (Partial)

Key Plan
Scale: 1/32"=1'-0"

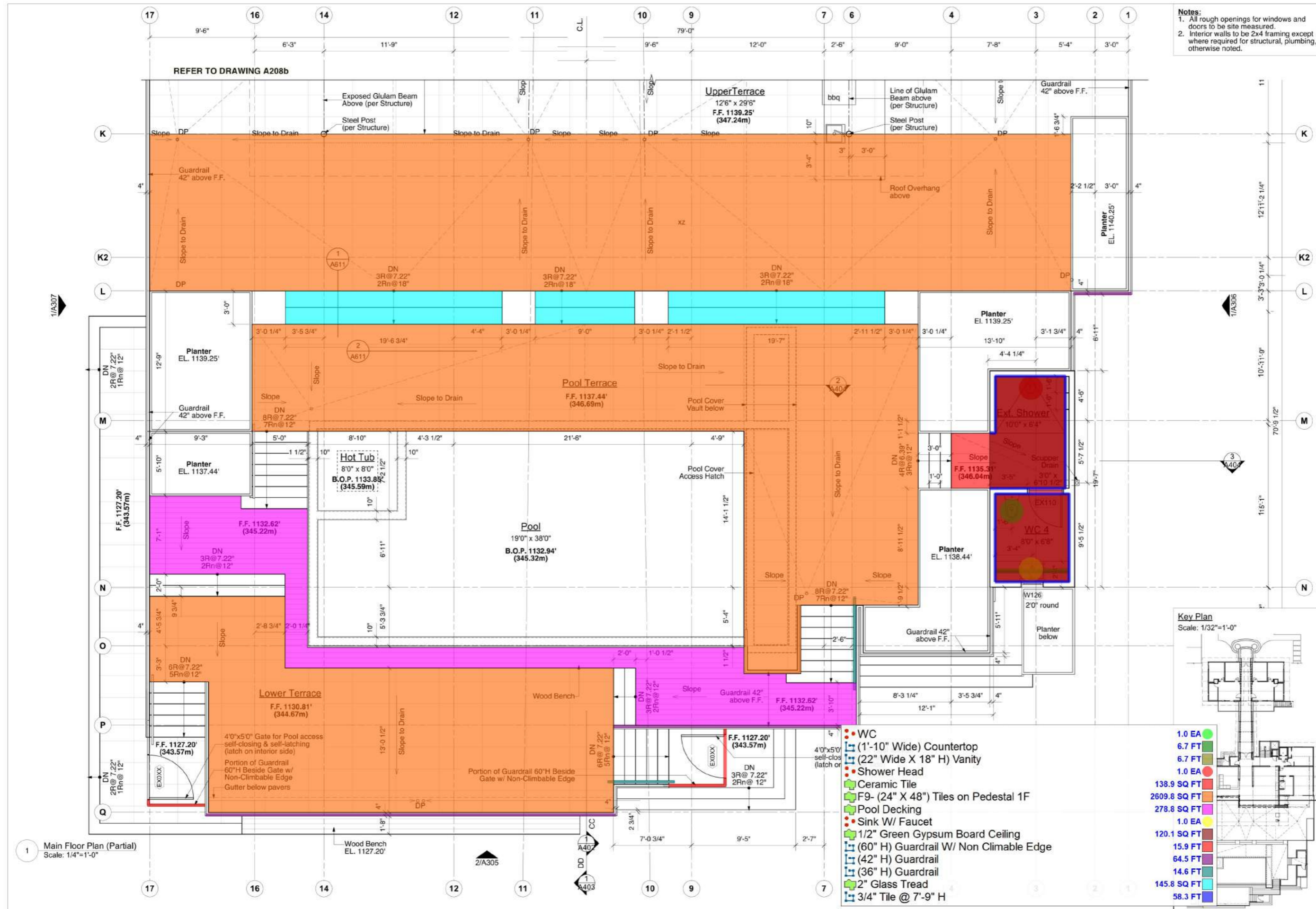


**HELLIWELL + SMITH
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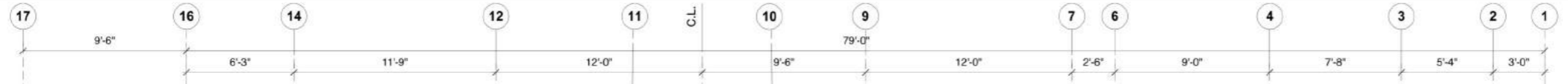
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 WEST VANCOUVER
 BRITISH COLUMBIA
 CANADA, V7V 3K1

PHONE (604) 921-8646
 FAX (604) 921-0755

SHEET NO.
A208c

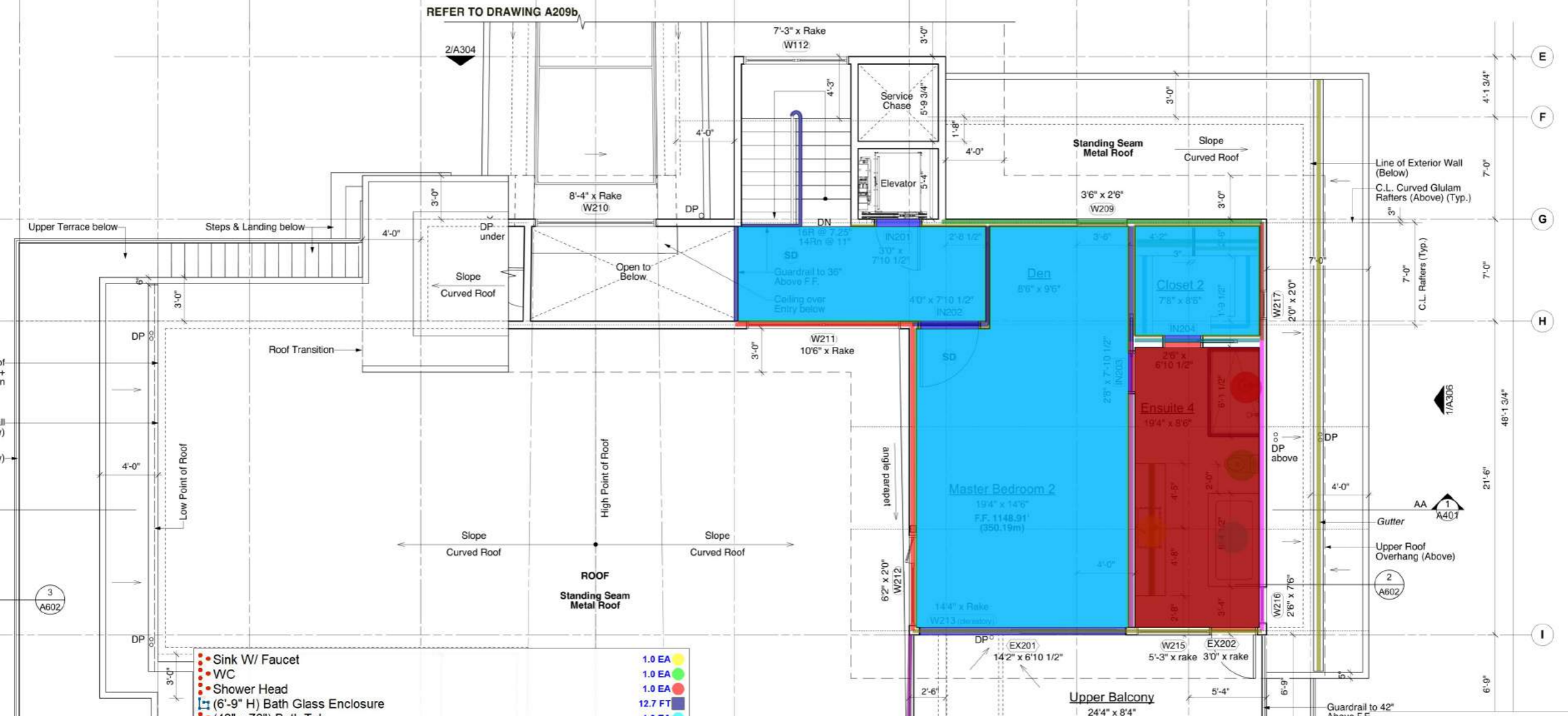


1 Main Floor Plan (Partial)
Scale: 1/4"=1'-0"



Notes:
 1. All rough openings for windows and doors to be site measured.
 2. Interior walls to be 2x4 framing except where required for structural, plumbing, or otherwise noted.

NO.	REVISION	DATE
1	Stiling	2019/10/18
2	Development Permit	2019/11/28
3	DP Re-submission	2020/02/03
4	Design Development	2020/11/13
5	Design Development	2020/11/17
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10	Rev.4	2022/05/11
11	IFC	2022/07/21
12	Foundation Review	2022/09/21
13	IFC - Coordination	2022/10/21
14	Pricing / Foundations	2023/01/11



● Sink W/ Faucet	1.0 EA
● WC	1.0 EA
● Shower Head	1.0 EA
■ (6'-9" H) Bath Glass Enclosure	12.7 FT
● (42" x 76") Bath Tub	1.0 EA
■ (2'-1" Wide) Countertop	9.1 FT
■ (24" Wide X 20" H) Vanity	9.1 FT
■ (12" Wide) Shelving	12.9 FT
■ (24" Deep X 7'-0" H) Closet	8.4 FT
■ Shelving Rod	8.4 FT
■ Carpet Tile	550.4 SQ FT
■ Ceramic Tile	165.8 SQ FT
■ 1/2" Gypsum Board Ceiling	537.7 SQ FT
■ 1/2" Green Gypsum Board Ceiling	163.5 SQ FT
■ (1" X 2") VG Fir Baseboard	118.1 FT
■ (36" H) Handrail	19.0 FT
■ (42" H) Guardrail	33.0 FT
■ 8" Gutter	40.6 FT
■ Exterior Wall W3 @ 7'-7" H (Painted) 1GB	19.9 FT
■ Exterior Wall W3 @ 7'-7" H (Painted)	8.1 FT
■ Exterior Wall W3 @ 8'-11" H (Painted)	21.9 FT
■ Exterior Wall W3 @ 8'-11" H (Painted) 1GB	24.0 FT
■ Interior Wall W8 @ 9'-4" H (Painted)	19.8 FT
■ Exterior Wall W3 @ 9'-4" H (Painted) 1GB	19.6 FT
■ Interior Wall W8 @ 8'-11" H (Painted) 1GB	8.6 FT
■ Exterior Wall W3 @ 11'-2" H (Painted)	33.1 FT

FIRST ISSUED
2019/11/28

SCALE
1/4"=1'0" (1/8"=1'0"@11"x17")

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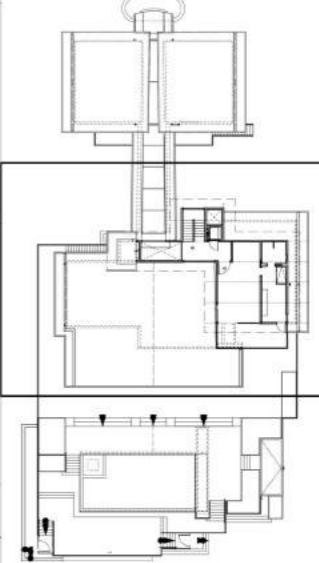
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PROJECT
LAPRAIRIE HOME
 1887 Jennens Road
 West Kelowna
 British Columbia

SHEET TITLE
Upper Floor Plan (Partial)

Key Plan
 Scale: 1/32"=1'-0"



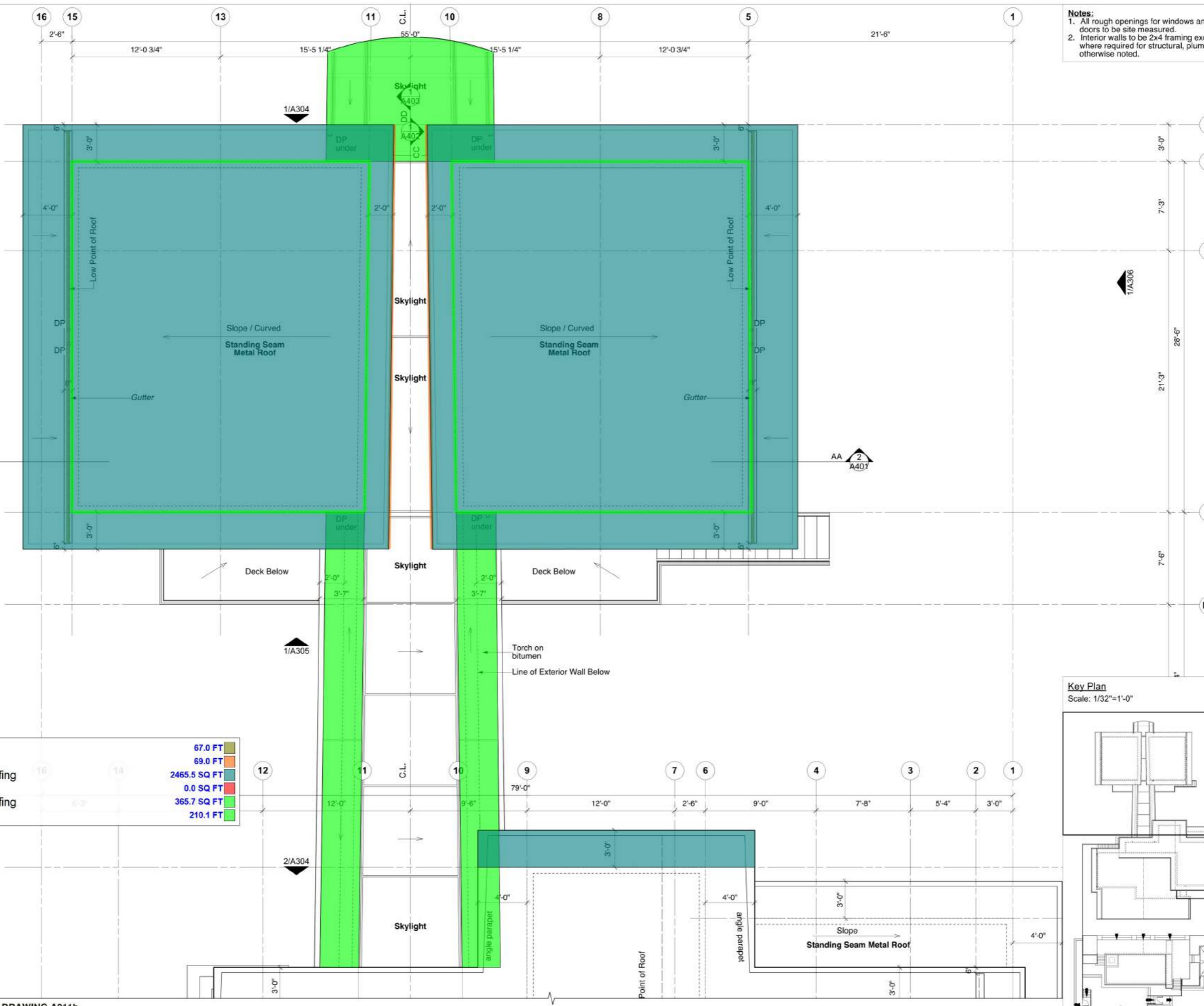
**HELLIWELL + SMITH
 BLUE SKY
 ARCHITECTURE
 INC.**

4090 BAYRIDGE AVE.
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 BRITISH COLUMBIA
 CANADA, V7V 3K1

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SHEET NO.
A209b

1 Upper Floor Plan (Partial)
 Scale: 1/4"=1'-0"



Notes:
 1. All rough openings for windows and doors to be site measured.
 2. Interior walls to be 2x4 framing except where required for structural, plumbing, or otherwise noted.

NO.	REVISION	DATE
1	Siting	2019/10/18
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13	IFC - Coordination	2022/10/21
14	Pricing / Foundations	2023/01/11

FIRST ISSUED
2019/11/28

SCALE
1/4"=1'-0" (1/8"=1'-0" @ 11"x17")

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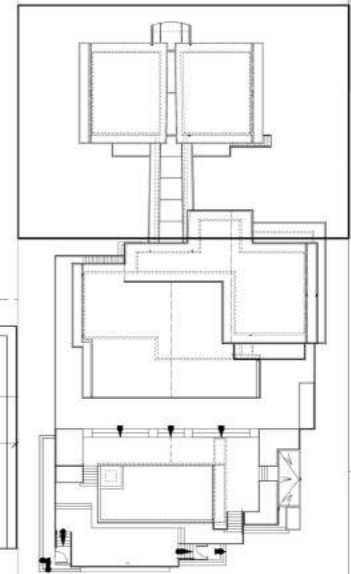
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PROJECT
LAPRAIRIE HOME
 1887 Jennens Road
 West Kelowna
 British Columbia

SHEET TITLE
Roof Plan (Partial)

Key Plan
 Scale: 1/32"=1'-0"



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SHEET NO.
A210a

8" Gutter	67.0 FT
(9" H) Wood Fascia	69.0 FT
R1- Standing Seam Metal Roofing	2465.5 SQ FT
R2- TPO Roofing	0.0 SQ FT
R1- Standing Seam Metal Roofing	365.7 SQ FT
Linear	210.1 FT

1 Roof Plan (Partial)
 Scale: 1/4"=1'-0"

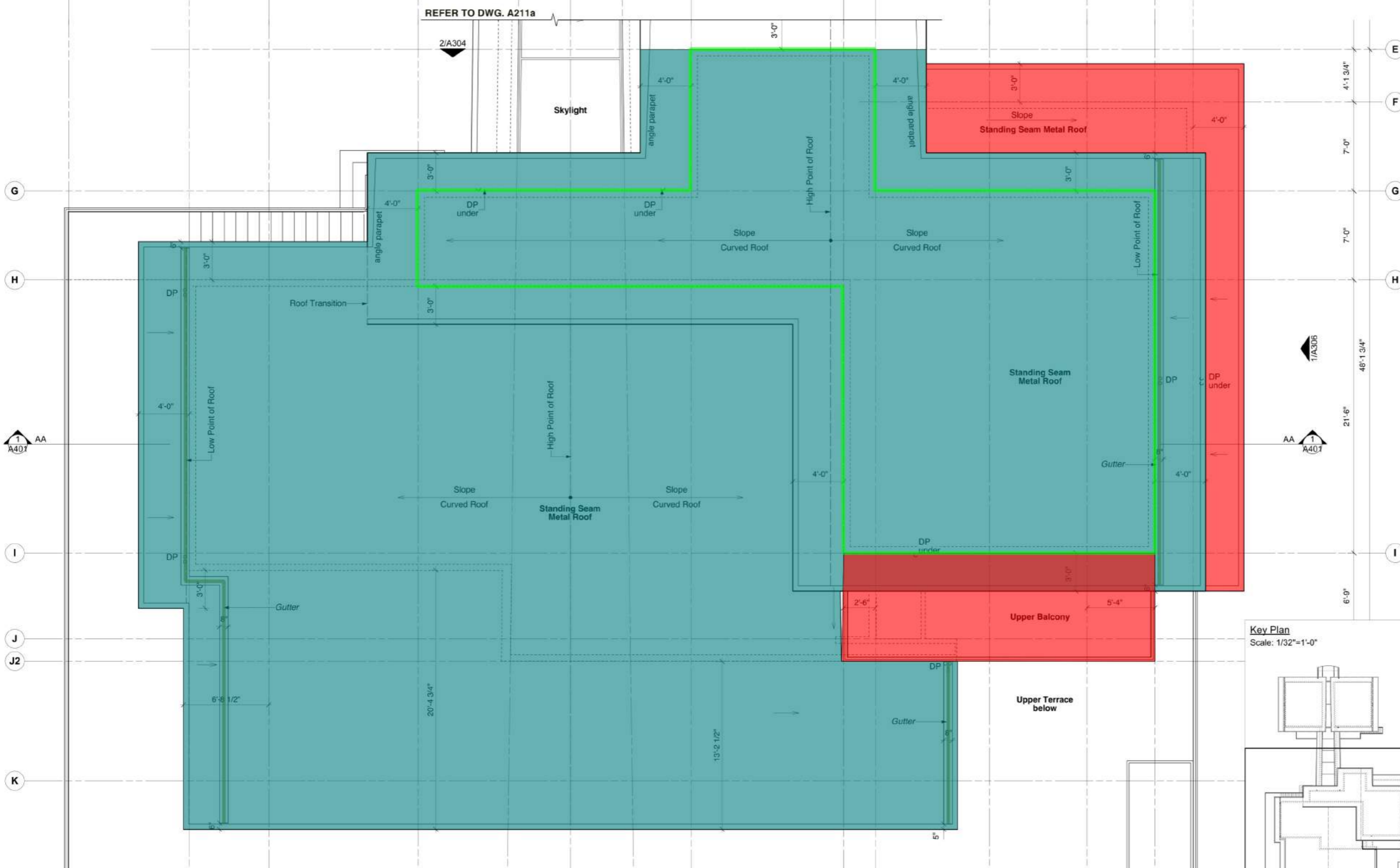
REFER TO DRAWING A211b

17 16 14 12 11 C.L. 10 9 7 6 4 3 2 1

9'-6" 6'-3" 11'-9" 12'-0" 9'-6" 79'-0" 12'-0" 2'-6" 9'-0" 7'-8" 5'-4" 3'-0"

Notes:
 1. All rough openings for windows and doors to be site measured.
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14	Pricing / Foundations	2023/01/11



FIRST ISSUED 2019/11/28

SCALE 1/4"=1'-0" (1/8"=1'-0" @ 11"x17")

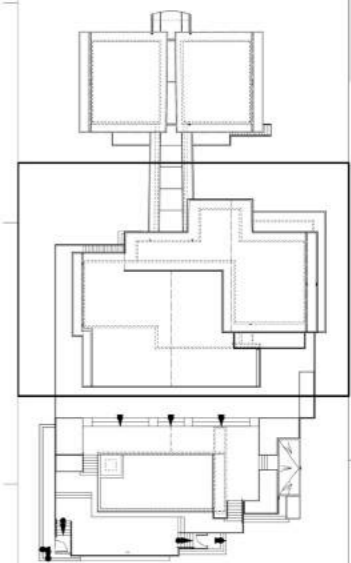
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PROJECT **LAPRAIRIE HOME**
 1887 Jennens Road
 West Kelowna
 British Columbia

SHEET TITLE **Roof Plan (Partial)**

Key Plan
 Scale: 1/32"=1'-0"

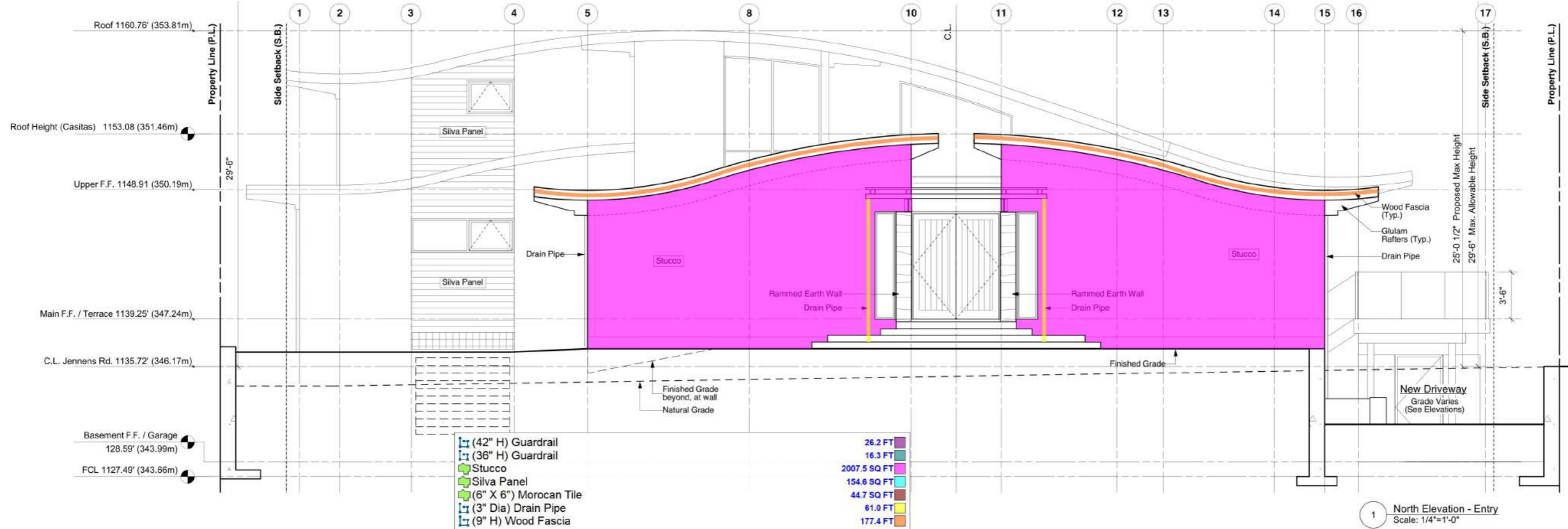


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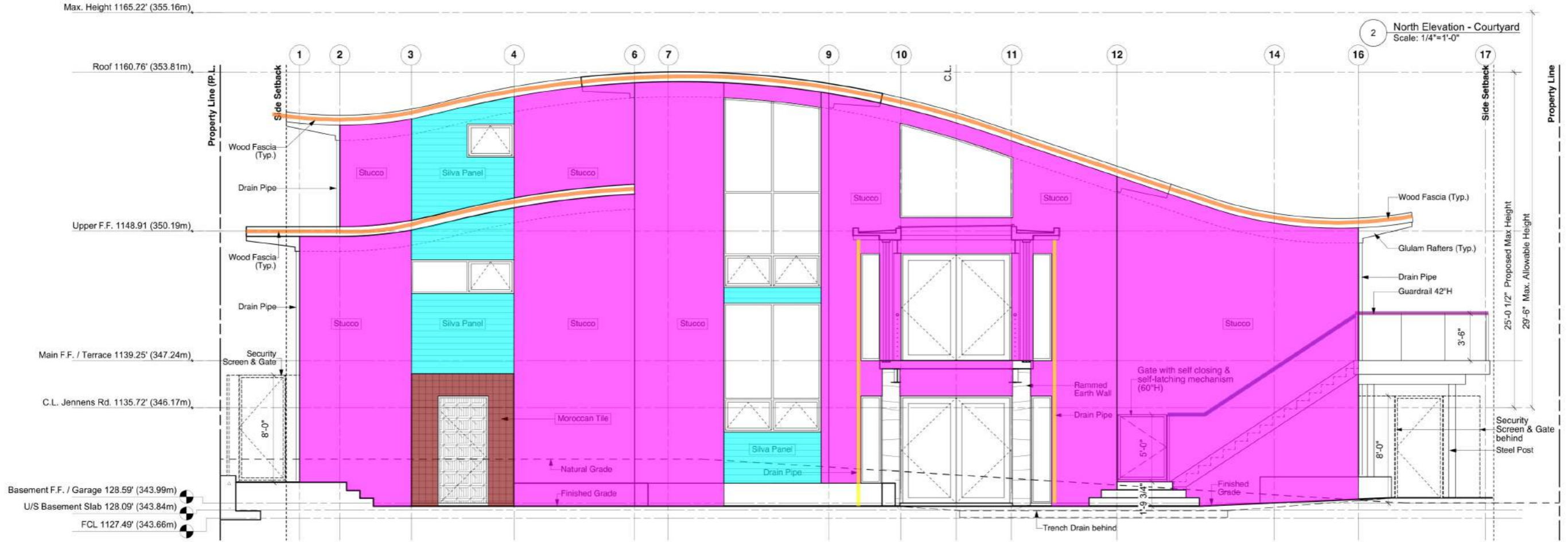
1 Roof Plan (Partial)
 Scale: 1/4"=1'-0"

8" Gutter	94.6 FT
R1- Standing Seam Metal Roofing	4679.7 SQ FT
R2- TPO Roofing	488.0 SQ FT
Linear	195.3 FT

SHEET NO. **A210b**



1 North Elevation - Entry
Scale: 1/4"=1'-0"



2 North Elevation - Courtyard
Scale: 1/4"=1'-0"

NO.	REVISION	DATE
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14	Pricing / Foundations	2023/01/11

FIRST ISSUED
2019/11/28

SCALE
1/4"=1'-0" (1/8"=1'-0" @ 11"x17")

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PROJECT
LAPRAIRIE HOME
1887 Jennens Road
West Kelowna
British Columbia

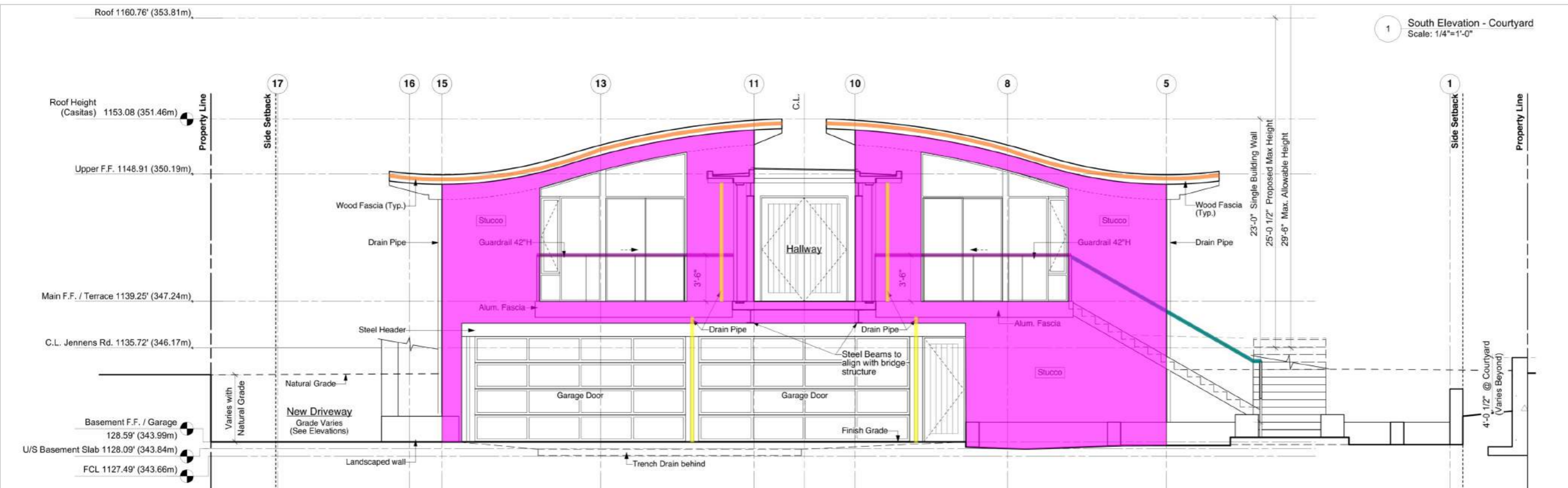
SHEET TITLE
Exterior Elevations

**HELLIWELL + SMITH
BLUE SKY
ARCHITECTURE
INC.**

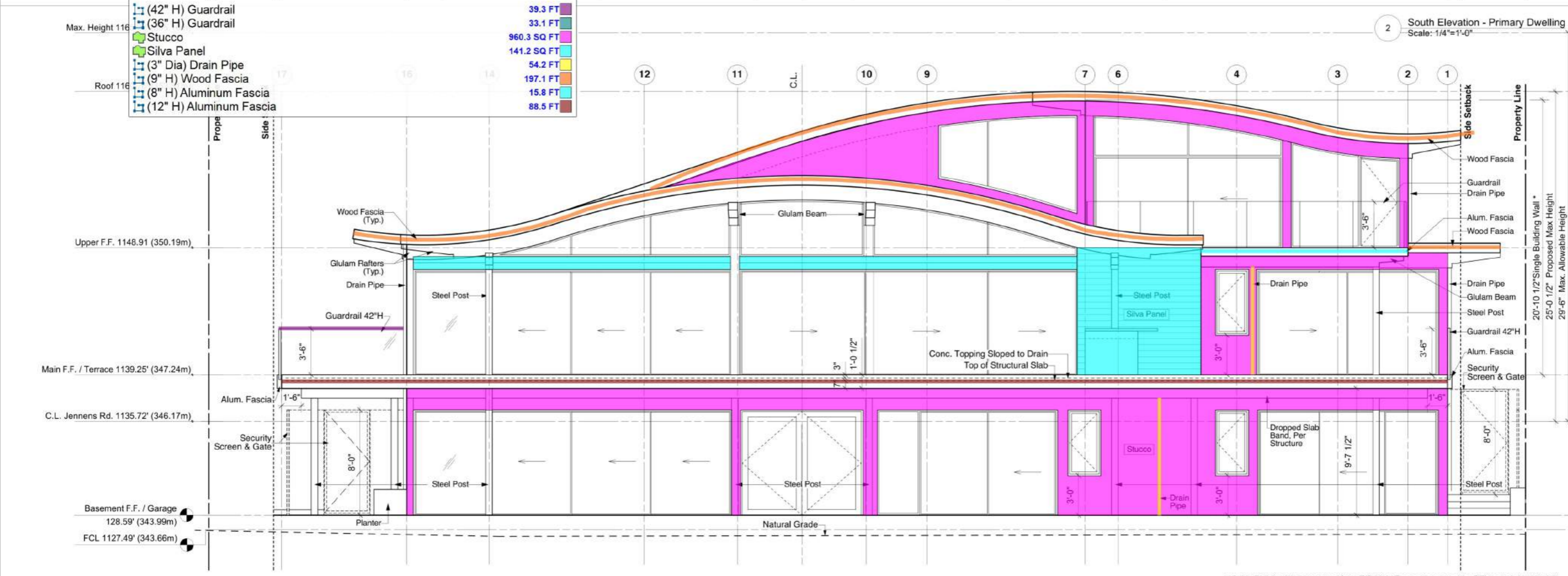
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WEST VANCOUVER
BRITISH COLUMBIA
CANADA, V7V 3K1

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SHEET NO.
A304



1 South Elevation - Courtyard
Scale: 1/4"=1'-0"



2 South Elevation - Primary Dwelling
Scale: 1/4"=1'-0"

NO.	REVISION	DATE
1	Stiling	2019/10/18
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14	Pricing / Foundations	2023/01/11

FIRST ISSUED 2019/11/28

SCALE 1/4"=1'0" (1/8"=1'0"@11"x17")

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PROJECT
LAPRAIRIE HOME
1887 Jennens Road
West Kelowna
British Columbia

SHEET TITLE
Exterior Elevations

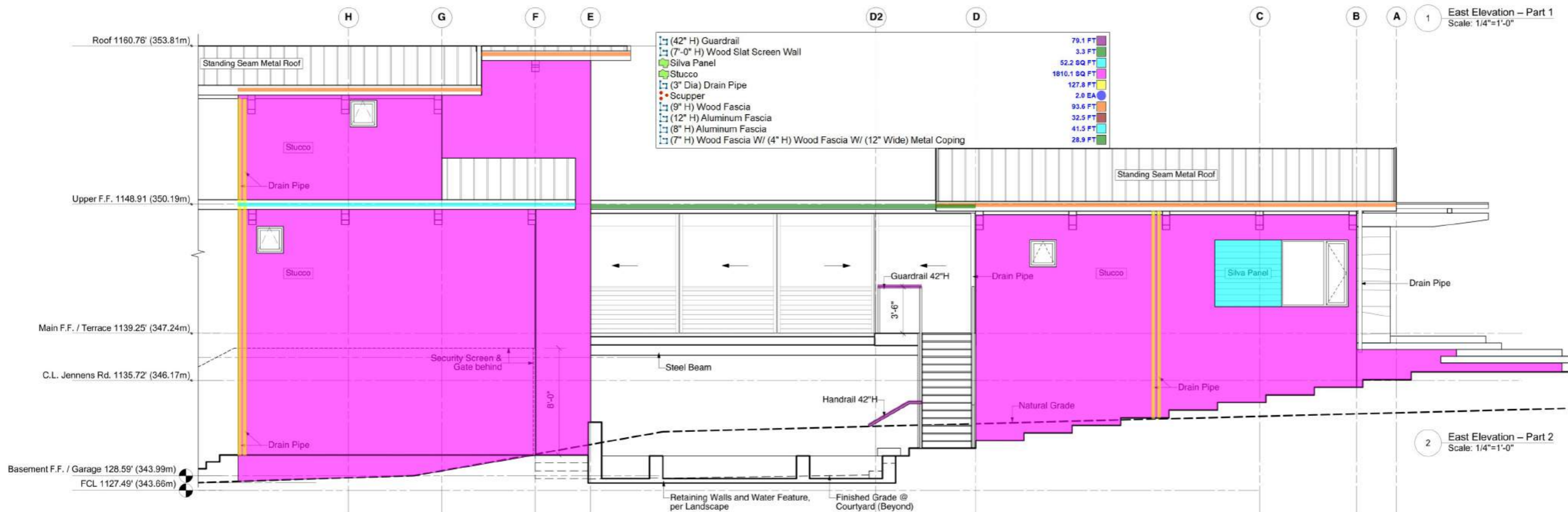
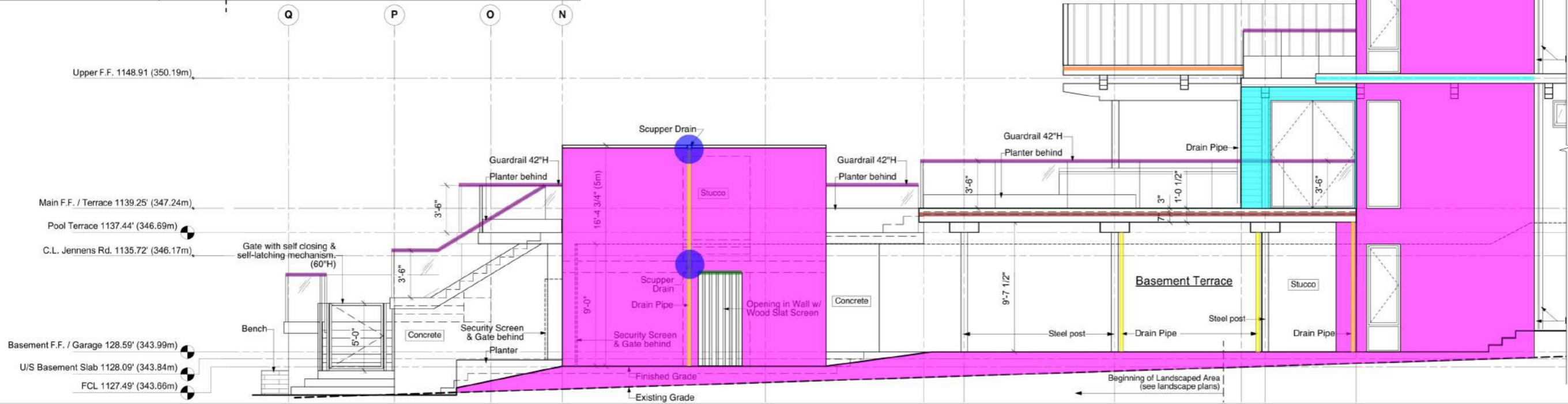
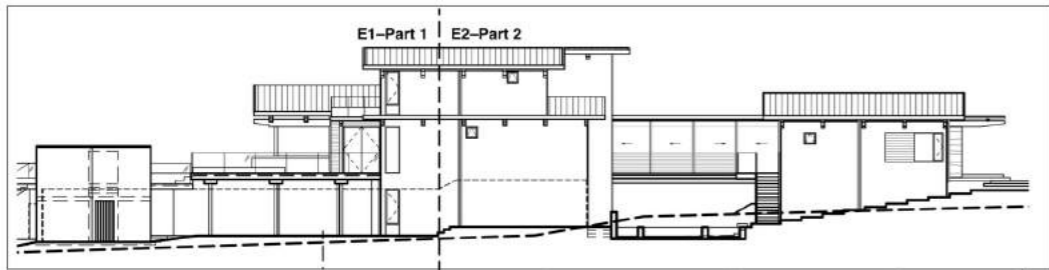
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SHEET NO.
A305

* Visible Building Wall measured from T/O Main Terrace (approved for DEV permit 2019/11/17)



NO.	REVISION	DATE
1	Siting	2019/10/18
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FIRST ISSUED 2019/11/28

SCALE 1/4"=1'-0" (1/8"=1'-0" @ 11"x17")

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PROJECT **LAPRAIRIE HOME**
1887 Jennens Road
West Kelowna
British Columbia

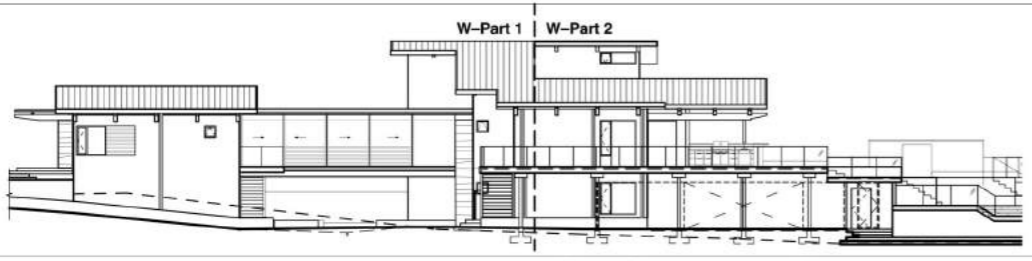
SHEET TITLE **Exterior Elevations**

HELLIWELL + SMITH BLUE SKY ARCHITECTURE INC.

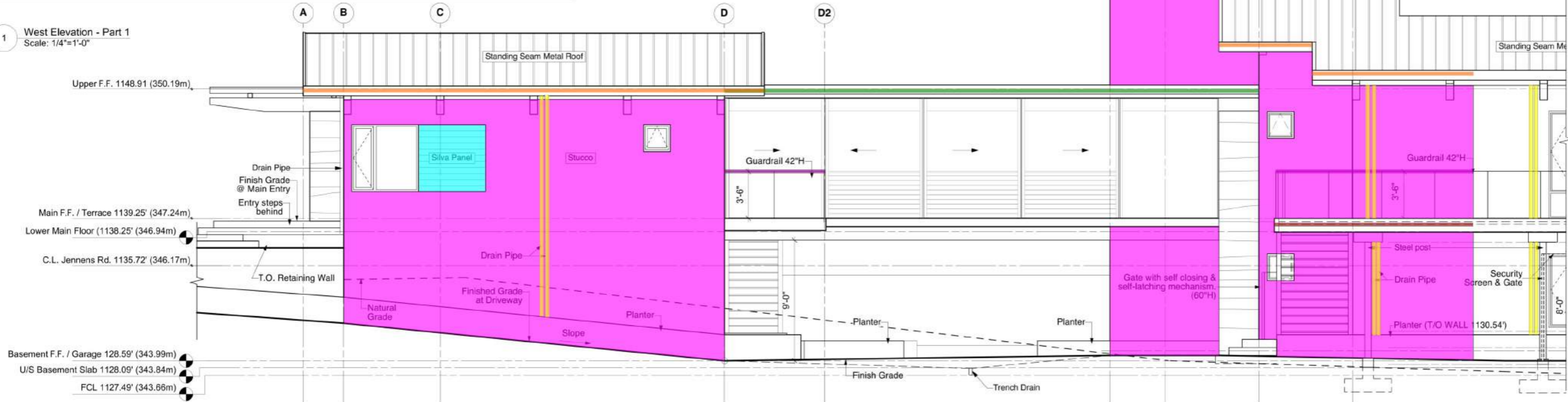
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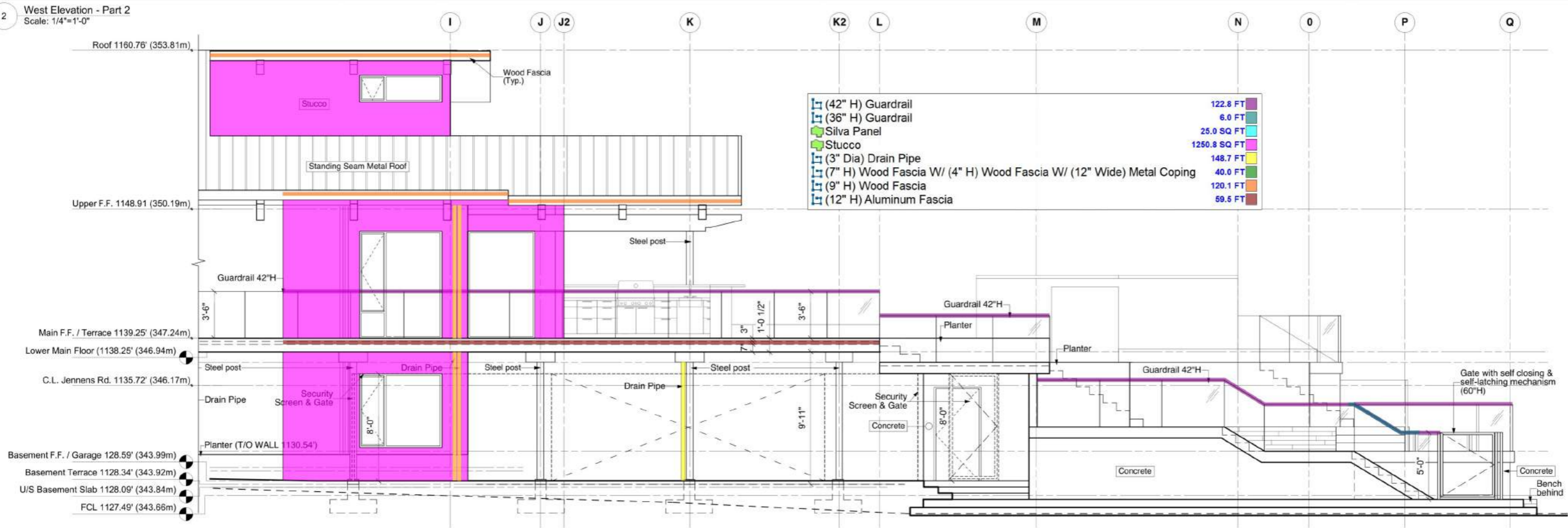
SHEET NO. **A306**



1 West Elevation - Part 1
Scale: 1/4"=1'-0"



2 West Elevation - Part 2
Scale: 1/4"=1'-0"



NO.	REVISION	DATE
1	Siting	2019/10/18
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FIRST ISSUED
2019/11/28

SCALE
1/4"=1'-0" (1/8"=1'-0" @ 11"x17")

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PROJECT
LAPRAIRIE HOME
1887 Jennens Road
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British Columbia

SHEET TITLE
Exterior Elevations

**HELLIWELL + SMITH
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SHEET NO.
A307

WINDOW SCHEDULE

* Window sizes are determined by structural spacing
 * Verify window sizes with site measurements
 * Insect screens for all openers
 * Double Glazing, Low E, Argon Filled Windows. U-Factor to meet code
 * Hardware (see construction notes)
 * Sill height from finished floor

#	Location	Width	Height
LOWER FLOOR			
W001	Stairwell	7'3"	9'7"
W002	Hall	1'6"	6'5"
W003	WC1	1'6"	8'0"
W004	WC1	2'0"	2'0"
W005	Media	6'2"	5'6"
W006	Bedroom 2	3'2"	8'0"
W007	Ensuite 2	2'6"	5'0"
W008	Ensuite 1	2'6"	5'0"
W009	Bedroom 1	4'0"	8'0"
W010	Bedroom 1	2'6"	8'0"
MAIN FLOOR			
W101	Bedroom 4	1'6"	8'0"
W102	Bedroom 5	1'6"	8'0"
W103	Bedroom 6	5'0"	5'0"
W104	Bathroom 2	2'0"	2'0"
W105	Sitting 2	4'6"	8'0"
W106	Sitting 2	11'2"	raked
W107	Sitting 1	11'2"	raked
W108	Sitting 1	4'6"	8'0"
W109	Bathroom 1	2'0"	2'0"
W110	Bedroom 3	5'0"	5'0"
W111	Laundry	7'8"	2'6"
W112	Stairwell	7'3"	raked
W113	Hall	1'6"	8'0"
W114	WC 2	1'6"	8'0"
W115	WC 2	2'0"	2'0"
W117	Living Room	6'2"	8'0"
W118	Living Room	19'2"	raked
W119	Hall / Kitchen	5'0"	8'0"
W120	Hall / Kitchen	9'5"	raked
W121	Kitchen	15'5"	raked
W122	Ensuite 3	2'6"	5'0"
W123	Master Bedroom 1	2'6"	8'0"
W124	Master Bedroom 1	2'0"	2'0"
W126	WC 3	2'0"	-
UPPER FLOOR			
W201	Bedroom 4	6'5"	2'8"
W202	Bedroom 4	6'5"	2'8"
W203	Sitting 1	6'5"	2'8"
W204	Sitting 1	6'5"	2'8"
W205	Sitting 2	6'5"	2'8"
W206	Sitting 2	6'5"	2'8"
W207	Bedroom 5	6'5"	2'8"
W208	Bedroom 5	6'5"	2'8"
W209	Den / Master Bedroom	3'6"	2'6"
W210	Hall	8'4"	raked
W211	Hall	10'6"	raked
W212	Master Bedroom 2	6'2"	2'0"
W213	Master Bedroom 2	14'4"	raked
W215	Ensuite 4	5'3"	raked
W216	Ensuite 4	2'6"	7'6"
W217	Closet 2	2'0"	2'0"

- (7'-3" X 9'-7") Window 1.0 EA
- (1'-6" X 6'-6") Window 1.0 EA
- (1'-6" X 8'-0") Window 5.0 EA
- (2'-0" X 2'-0") Window 6.0 EA
- (6'-2" X 5'-6") Window 1.0 EA
- (3'-2" X 8'-0") Window 1.0 EA
- (2'-6" X 5'-0") Window 3.0 EA
- (4'-0" X 8'-0") Window 1.0 EA
- (2'-6" X 8'-0") Window 2.0 EA
- (5'-0" X 5'-0") Window 2.0 EA
- (4'-6" X 8'-0") Window 2.0 EA
- (11'-2" X 3'-5") Raked Window 2.0 EA
- (7'-8" X 2'-6") Window 1.0 EA
- (7'-3" X 14'-2") Raked Window 1.0 EA
- (6'-2" X 8'-0") Window 1.0 EA
- (5'-0" X 8'-0") Window 1.0 EA
- (19'-2" X 4'-1") Raked Window 1.0 EA
- (9'-5" X 4'-1") Window 1.0 EA
- (15'-5" X 4'-1") Raked Window 1.0 EA
- (24" Dia) Window 8.0 EA
- (6'-5" X 2'-8") Window 1.0 EA
- (3'-6" X 2'-6") Window 1.0 EA
- (8'-4" X 7'-2") Raked Window 1.0 EA
- (10'-6" X 7'-6") Raked Window 1.0 EA
- (6'-2" X 2'-0") Window 1.0 EA
- (14'-4" X 3'-0") Raked Window 1.0 EA
- (5'-3" X 8'-0") Raked Window 1.0 EA
- (2'-6" X 7'-6") Window 1.0 EA
- (16'-0" X 8'-0") Overhead Garage Door 2.0 EA
- (3'-3" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (3'-6" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (8'-0" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (24'-2" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (9'-0" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (10'-2" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (9'-0" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (3'-0" X 6'-10-1/2") Door W/ Frame 2.0 EA
- (3'-0" X 2'-8") Door W/ Frame 1.0 EA
- (3'-0" X 6'-8") Door W/ Frame 1.0 EA
- (3'-6" X 8'-0") Door W/ Frame 3.0 EA
- (20'-6" X 8'-0") Door W/ Frame 1.0 EA
- (4'-0" X 5'-0") Door W/ Frame 3.0 EA
- (4'-0" X 8'-0") Door W/ Frame 1.0 EA
- (2'-8" X 7'-10-1/2") Door W/ Frame 15.0 EA
- (3'-0" X 7'-10-1/2") Door W/ Frame 9.0 EA
- (2'-10" X 7'-10-1/2") Door W/ Frame 2.0 EA
- (2'-6" X 7'-10-1/2") Door W/ Frame 2.0 EA
- (6'-0" X 7'-10-1/2") Door W/ Frame 4.0 EA
- (2'-0" X 7'-10-1/2") Door W/ Frame 2.0 EA
- (24'-2" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (25'-8" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (13'-10" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (8'-2" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (3'-6" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (4'-0" X 7'-10-1/2") Door W/ Frame 1.0 EA
- (37'-2" X 9'-0") Door W/ Frame 2.0 EA
- (3'-0" X 6'-10-1/2") Door W/ Frame 1.0 EA
- (14'-4" X 6'-10-1/2") Door W/ Frame 1.0 EA
- (2'-6" X 6'-10-1/2") Door W/ Frame 1.0 EA
- (3'-0" X 6'-8") Raked Door W/ Frame 1.0 EA

DOOR SCHEDULE

#	Location	Width	Height	Thickness	Style	Door Type	Core	Material	Hardware	Comments
LOWER FLOOR										
EX-001	Garage	16'0"	8'0"			overhead garage				
EX-002	Garage	16'0"	8'0"			overhead garage				
EX-003	Garage	3'3"	7'10 1/2"			swing				
EX-004	Wine Cellar	3'6"	7'10 1/2"			swing				Custom Door from Morocco
EX-005	Entry / Hall	8'0"	7'10 1/2"			double swing				
EX-006	Media / Games	24'2"	7'10 1/2"			slider				3 part slider
EX-007	Hall	9'0"	7'10 1/2"			double swing				
EX-008	Bedroom 2	10'2"	7'10 1/2"			slider				
EX-009	Bedroom 1	9'0"	7'10 1/2"			slider				
EX-010	Pool Mech	3'0"	6'10 1/2"			swing				
EX-011	Sauna	3'0"	6'10 1/2"			swing				
EX-012	Crawlspace	3'0"	2'8"			swing				Hatch door
EX-013	WC 3 (Cabana)	3'0"	6'8"			swing				
EG-001	Basement Terrace (NW corner)	3'6"	8'0"			swing				Security Gate
EG-002	Basement Terrace (West)	20'6"	8'0"			2x dbl slider				Security Gate
EG-003	Basement Terrace (SW corner)	3'6"	8'0"			swing				Security Gate
EG-004	Pool access (SW)	4'0"	5'0"			swing				Pool Gate (self closing & latching)
EG-005	Pool access (SE)	4'0"	5'0"			swing				Pool Gate (self closing & latching)
EG-006	Lower Basement Terrace	4'0"	8'0"			slider				Security Gate
EG-007	Basement Terrace (NW corner)	3'6"	8'0"			swing				Security Gate
EG-008	Pool access (NW corner)	4'0"	5'0"			swing				
IN-001	WC 1	2'8"	7'10 1/2"			swing				
IN-002	Elevator	3'0"	7'10 1/2"			swing				
IN-003	Mech	3'0"	7'10 1/2"			swing				
IN-004	Wine Cellar	2'8"	7'10 1/2"			swing				
IN-005	Bedroom 1	2'8"	7'10 1/2"			swing				
IN-006	Ensuite 1	2'8"	7'10 1/2"			swing				
IN-008	Linen	2'10"	7'10 1/2"			swing				
IN-009	Bedroom 2	2'8"	7'10 1/2"			swing				
IN-010	Storage Below Stair	2'6"	7'10 1/2"			swing				
IN-011	Ensuite 2	2'8"	7'10 1/2"			swing				
IN-012	Pool Mech / Storage	3'0"	6'10 1/2"			swing				
IN-013	Garage Electrical	3'0"	7'10 1/2"			swing				
MAIN FLOOR										
EX-101	Primary Entry	6'6"	7'10 1/2"			double swing				
EX-102	Sitting 2	6'0"	7'10 1/2"			slider				
EX-103	Sitting 1	6'0"	7'10 1/2"			slider				
EX-104	Bridge / Hall	37'2"	9'0"			slider				4 part slider
EX-105	Bridge / Hall	37'2"	9'0"			slider				4 part slider
EX-106	Living Room	24'2"	7'10 1/2"			slider				3 part slider
EX-107	Kitchen	25'8"	7'10 1/2"			slider				
EX-108	Storage	6'0"	7'10 1/2"			double swing				
EX-109	Master Bedroom 1	13'10"	7'10 1/2"			slider				
EX-110	WC 4 (Cabana)	3'0"	6'10 1/2"			swing				
IN-101	Bedroom 5	2'8"	7'10 1/2"			swing				
IN-102	Bedroom 6	2'8"	7'10 1/2"			swing				
IN-103	Linen (Bedroom 5 & 6)	2'0"	7'10 1/2"			pocket				
IN-104	Bathroom 2	2'8"	7'10 1/2"			swing				
IN-105	Sitting 2	3'0"	7'10 1/2"			swing				
IN-106	Sitting 1	3'0"	7'10 1/2"			swing				
IN-107	Bathroom 1	2'8"	7'10 1/2"			swing				
IN-108	Linen (Bedroom 3 & 4)	2'0"	7'10 1/2"			pocket				
IN-109	Bedroom 3	2'8"	7'10 1/2"			swing				
IN-110	Bedroom 4	2'8"	7'10 1/2"			swing				
IN-111	Bridge / Hall / Entry	8'2"	7'10 1/2"			double swing				
IN-112	WC 2	2'8"	7'10 1/2"			swing				
IN-113	Elevator	3'0"	7'10 1/2"			swing				
IN-114	Cooler	2'6"	7'10 1/2"			swing				
IN-115	Laundry	2'10"	7'10 1/2"			swing				
IN-116	Master Bedroom 1	3'0"	7'10 1/2"			swing				
IN-117	Ensuite 3	2'8"	7'10 1/2"			pocket				
IN-118	Laundry Room Closet	3'6"	7'10 1/2"			double pocket				
UPPER FLOOR										
EX-201	Master Bedroom 2	14'4"	6'10 1/2"			slider				
EX-202	Ensuite 4	3'0"	raked			swing				part of window system
IN-201	Elevator	3'0"	7'10 1/2"			swing				
IN-202	Master Bedroom 2	4'0"	7'10 1/2"			swing				
IN-203	Ensuite 4	2'8"	7'10 1/2"			pocket				
IN-204	Closet 2	2'6"	6'10 1/2"			pocket				

NO.	REVISION	DATE
1	Siting	2019/10/18
2	Development Permit	2019/11/28
3	DP Re-submission	2020/02/03
4	Design Development	2020/11/13
5	Design Development	2020/11/17
6	Building permit	2021/11/29
7	Building permit Rev.1	2022/02/03
8	Building permit Rev.2	2022/03/23
9	Building permit Rev.3	2022/04/22
10	Rev.4	2022/05/11
11	IFC	2022/07/21
12	Foundation Review	2022/09/21
13	IFC - Coordination	2022/10/21
14	Pricing / Foundations	2023/01/11

FIRST ISSUED
2019/11/28

SCALE
AS NOTED

DRAWN BY
ks

CHECKED BY
ks/ bh

NOTE:
This set of drawings and the design as shown remain the property of Helliwell + Smith Blue Sky Architecture Inc.. Contractor and all sub-trades shall verify all dimensions on site. Do not scale these drawings. Report any discrepancies to Helliwell + Smith Blue Sky Architecture Inc.

Contractor shall be responsible for all conditions on the job and shall notify this office of any variations of the conditions immediately. All work completed on site to conform to the British Columbia Building Code 2018.

PROJECT
LAPRAIRIE HOME
1887 Jennens Road
West Kelowna
British Columbia

SHEET TITLE
Door Schedule

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